



U.S. Department of Housing and Urban
Development
451 Seventh Street, SW
Washington, DC 20410
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espanol.hud.gov

Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Project Name:

7th Avenue Commons

Responsible Entity:

City of Tucson Housing and Community Development Department

Preparer:

Glenn Fournie, Project Coordinator

Certifying Officer Name and Title:

Sally Stang, Director Housing and Community Development Department

Direct Comments to:

Glenn Fournie, 520-837-5408 glenn.fournie@tucsonaz.gov

Date:

May 2016

Project Location:

The Property includes 4 Parcels: 58 E. 5th Street, 546 N. Stone Avenue, 529 N. 7th Avenue; 519 N. 7th Avenue, Tucson Pima County AZ 85705. Pima County Assessors parcel numbers: 117-04-2160, 117-04-214A, 117-04-214B, 117-04-214C.

Statement of Purpose and Need for the Proposal: [40 CFR 1508.9(b)]

There is little to no permanent affordable family housing located in or near downtown Tucson that serves low-income workers with families. The project is located within 1/2 mile of the Tucson Downtown Core, which is rapidly developing due to the new street car line and where a plethora of new businesses have opened. Most of these new businesses require lower wage, service industry employees. Recent studies indicate that in Transit Oriented Development (TOD) communities, high capacity transit and transit stations, such as the Sunlinks Tucson Modern Streetcar and the Ronstadt Transit Center, significantly reduce per capita automobile travel.

The project is consistent with the City of Tucson Consolidated Plan (**Plan Tucson**) policies and goals to develop supportive housing including: 1) New construction and/or rehabilitation of rental units for target populations; 2) Complexes serving special target populations where, in this case, 100% of the units are designated for low-income households; 3) The preservation of existing lower income housing and/or increasing the supply of lower income housing; and 4) Self-sufficiency in lower income households. This project also supports the strategy for helping people make the transition to permanent housing and independent living.

A Market Study of the proposed 7th Avenue Commons project was completed in February 2015 by Lea & Company. Strong support for the development based on typical tax credit standards, is evident – the data shows a clear and significant number of income-qualified households that require affordable housing. The favorable capture rates and consideration of the "net" Demand Model are a clear indication that there is strong demand to support the proposed project.

Description of the Proposal: Include all contemplated actions which logically are either geographically or functionally a composite part of the project, regardless of the source of funding. [24 CFR 58.32, 40 CFR 1508.25]

The project will include demolition, adaptive reuse of existing structures and new construction to provide 50 very low income apartments, 27- 1 bedroom, 7- 2 bedroom, 16- 3 bedroom units. 27 apartments will be located within the existing warehouse building with the addition of a 2nd story, and 23 apartments will be newly-constructed in a new 3-level building. A two level parking structure is included in the project. A community building/clubhouse will be located on site, along with a shared laundry facility and fenced playground area. The streetscape along 7th Avenue will include urban landscape and hardscape and public art. The proposed development project will include the adaptive re-use of the existing 12,000 sq. ft. warehouse/office building. The Project will include a combination of set-asides at 40%, 50% and 60% of Median Income.

The project has been designed using the Arizona Department of Housing (ADOH) prescriptive path to sustainability, which is roughly equivalent to a LEED Gold standard. Specific green building elements to be utilized will include hard surface flooring, smoke-free units and common areas, Energy Star windows and doors, Environmentally Preferred Products (EPP) such as flooring and concrete, low flow toilets, thermal and sound attenuating performance windows, highly-reflective roofs, Energy Star high efficiency and low water usage appliances.

The project is within 2 blocks of major north/south and east/west public transportation routes, including direct links to the Ronstadt Transit Center and the Sunlink street car line, linking downtown to the Rio Nuevo project, the 4th Avenue district, the University Medical Center and the University of Arizona. The site is within 1/2 mile of the downtown core and its expanding job opportunities, grocery shopping, retail shops, libraries, parks, restaurants, museums and the YMCA. The site is within walking distance of K-12 schools, including charter schools and within 1 mile of the University of Arizona. The project site is within 4 miles of major medical centers, including the Southern Arizona Veterans Health Care System.

Existing Conditions and Trends: Describe the existing conditions of the project area and its surroundings, and trends likely to continue in the absence of the project. [24 CFR 58.40(a)]

The property is located at 529 North 7th Avenue, at the intersection of 7th Avenue and 5th Street (southwest corner), and adjacent to the West University, John Springs Neighborhood and the Warehouse Historic Districts. The property is an approximate 65,000 net sq. ft. and includes vacant land (currently a surface parking lot) plus an existing warehouse/artist space buildings of approximately 12,000 sq. ft. The property is zoned City of Tucson C-3, which will allow the development of over 50 apartments.

The project site is within 500 feet of the currently in design Downtown Links Phase III project. Downtown Links is an improvement project that provides enhancements, benefits, and connections for pedestrians, bicyclists, and motorists. The Downtown Links project is a 30 mph, four-lane road north of the Union Pacific railroad tracks that will connect Barraza-Aviation Parkway to I-10. This project upgrades critical infrastructure, specifically drainage systems, which has removed a large portion of Downtown and surrounding neighborhoods from the 100-year flood plain. When complete, Downtown Links will offer improved access and connections, including an underpass and an overpass, for pedestrians, bicyclists and motorists. Additionally, the project will include new and safer railroad crossings and designate the downtown crossing as a railroad quiet zone.

Funding Information

Grant Number	HUD Program	Funding Amount
M-14-DC-040-229	HOME	\$750,000.00

Estimated Total HUD Funded Amount: \$750,000.00

Estimated Total Project Cost (HUD and non-HUD funds): \$ 14,077,331.00

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	<div>Yes No</div> <div><input type="checkbox"/> X</div>	<p>The project is not within an FAA-designated civilian airport Runway Clear Zone (RCZ) or Runway Protection Zone, or within a military airfield Clear Zone (CZ) or Accident Potential Zone (APZ) Approach Protection Zone. Map on file.</p> <p>http://maps.tucsonaz.gov/hcd/index_old.html</p>

Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> X	There are no coastal barrier resources in HUD Region IX. http://www.fws.gov/cbra/Maps/Mapper.html
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No <input type="checkbox"/> X	The project is not in a designated flood zone, FEMA Zone Xs 4019C-2276 L 6/11. LOMR effective date 6/13/16. Flood insurance not required. Map and LOMR on file. http://maps.tucsonaz.gov/hcd/index_old.html
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5		
Clean Air Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes No <input type="checkbox"/> X	Other than a brief period of construction, the project will have no negative impact on air quality issues or community pollution levels. No EPA/ADEQ Air restrictions for the site. Control of dust during construction is required under the Pima County Fugitive dust map. Permits for activity will not be issued until compliance is certified. Tucson is in conformance with SIP maintenance plan. http://www.epa.gov/region9/air/actions/az.html
Coastal Zone Management Coastal Zone Management Act, sections 307(c) & (d)	Yes No <input type="checkbox"/> X	Arizona has no coastal zones. Map on file.
Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)	Yes No <input type="checkbox"/> X	A Phase I Environmental Site Assessment (ESA) Report was completed by Terracon on February 27, 2015. The report identified 5 possible recognized environmental conditions (RECs) in connection with the site. The follow up Limited Site Investigative Report dated February 3, 2016 found the project site free of hazardous materials, contamination, toxic chemicals, gasses and radioactive substances at concentrations determined by Arizona Department of Environmental Quality (ADEQ) standards which could affect the health or safety of occupants or conflict with the intended use of the subject property. Site visit by HCD staff 10/2/15 updated 2/23/16. Full report is on file. Maps on file. http://maps.tucsonaz.gov/hcd/index_old.html https://www.epa.gov/nepa/nepassist
Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	Yes No <input type="checkbox"/> X	The project will have no effect on any federally protected (listed or proposed) Threatened or Endangered Species, nor adversely modify designated critical habitats. Site is fully developed in a developed urban neighborhood and has been graded, leveled and completely built up or paved. Phase I environmental site assessment dated 2/27/15 and updated 6/3/15 by Terracon Consultants, Inc. Site visit by HCD staff 10/2/15 updated 2/23/16. Maps, photos and memo in file. https://www.epa.gov/nepa/nepassist
Explosive and Flammable Hazards 24 CFR Part 51 Subpart C	Yes No <input type="checkbox"/> X	The project will expose neither people nor buildings to any above-ground explosive or flammable fuels or chemicals. Map and aerial map attached. Phase I environmental site assessment dated 2/27/15 and updated 6/3/15 by Terracon Consultants, Inc. Site visit by HCD staff 10/2/15 updated 2/23/16. Maps on file. http://maps.tucsonaz.gov/hcd/index_old.html

		https://www.epa.gov/nepa/nepassist
Farmlands Protection Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The City of Tucson has no protected farmland including prime or unique farmland, or other farmland of statewide or local importance. Site is in a fully developed urban environment per USGS Topo Map. Map on File.
Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project does not involve property acquisition, management, construction or improvements within a floodplain identified by FEMA maps. Map on file. http://maps.tucsonaz.gov/hcd/index_old.html
Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	There are no historic properties affected per 36 CFR 800.4. Reviewed and approved per programmatic agreement by City of Tucson HPO office 2/25/15 with SHPO concurrence. Emails on file.
Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	Site is within 700 of railroad and 300 feet of the planned Downtown Links Parkway. DNL Noise Study by Terracon and Acoustical Consulting Services dated 5/23/16 determined the DNL level for the site is 71.3 Ldn. The Noise Mitigation letter from Bitform Architecture includes standard construction methods & dual pane noise attenuating windows for an average STC of 32.4, bringing interior DNL to less than 40 decibels. Other than a brief period of construction there should be no increase in noise levels. DNL Study, building plans & specs and mitigation letter on file http://maps.tucsonaz.gov/hcd/index_old.html
Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project need not be referred to EPA for evaluation according to the HUD-EPA (Region IX) Sole Source Aquifer Memorandum of Understanding of 1990. Location is currently served by a municipal water and sewer system and will have no impact on the aquifer. Memorandum and map on file. http://www.epa.gov/region9/water/groundwater/ssa.html
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project does not involve new construction within or adjacent to wet lands, marshes, wet meadows, mud flats or natural ponds. Maps on file. https://www.epa.gov/nepa/nepassist http://www.fws.gov/wetlands/Data/Mapper.html
Wild and Scenic Rivers Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project is not located within one mile of a listed Wild and Scenic River. Tucson and Southern Arizona have no wild and scenic rivers. Map on file. http://www.americanrivers.org/initiatives/wild-and-scenic/wild-and-scenic-rivers-map/
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The proposed site is suitable for its proposed use and will NOT be adversely impacted by adverse environmental conditions. The project is an urban infill project with adaptive reuse of warehouse space to low income housing, in a mixed income area. https://geomap.ffiec.gov/FFIECGeocMap/GeocodeMap1.aspx

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 & 1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	The property is zoned City of Tucson C-3, which will allow the development of over 50 apartments. This zone provides for mid-rise development of general commercial uses that serve the community and region, located downtown or in other major activity center areas. Residential and other related uses shall also be permitted. Site plan was reviewed and approved by Tucson Planning and Development Services Department, Ernie Duarte 2/25/15. Letter on file.
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	No evidence of erosion, drainage/storm water runoff on site visit by HCD staff 10/2/15, updated 2/23/16 or in Custom Soil Resource Report dated 1/11/16.
Hazards and Nuisances including Site Safety and Noise	2	No visible evidence of onsite hazards or nuisances Phase I environmental site assessment dated 2/27/15 and updated 6/3/15 by Terracon Consultants, Inc. and site visit by HCD staff 10/2/15 updated 2/23/16. Reports on file.
Energy Consumption	2	Minor increase in energy consumption by 50 new units of housing. Tucson Electric Power currently supplies electricity and will continue service. All utilities are currently on site and ready for construction. Buildings will be constructed to Arizona Department of Housing (ADOH) prescriptive path to sustainability, which is roughly equivalent to a LEED Gold standard, with energy efficient and low water usage appliances. HOME application on file.

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		
Employment and Income Patterns	2	The target population for the project will be very low income families. The site is within 1/2 mile of the downtown core and its expanding job opportunities. Many of the new jobs are entry level or service jobs in the hotel, restaurant and retail businesses. 7 th Avenue Commons anticipates hiring approximately 10-15 subcontractors during the construction phase of the project. The project will follow Section 3 in all of employment, construction and subcontracting activities. HOME application and maps on file. https://geomap.ffiec.gov/FFIECGeocMap/GeocodeMap1.aspx

Demographic Character Changes, Displacement	2	<p>Project area is a moderate income (33 % below poverty level), mixed race (30% minority), mixed use area with approximately 69% of the housing units currently being used as rentals. The target population for the project will be low income families. The relocation plan by Acquisition Sciences has been submitted to HUD for approval. 10-11 artist work spaces located in the existing warehouse building will require commercial relocation. HOME application and maps on file.</p> <p>https://geomap.ffiec.gov/FFIECGeocMap/GeocodeMap1.aspx</p>
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Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	<p>The site is within 1 mile of 6 Tucson Unified School District K-12 and magnet high schools and a large number of private charter schools and preschools. TUSD has an open enrollment policy, so any school in the district is open for enrollment. The project site is within a short commute on public transit of a number of colleges and adult education resources including Pima Community College, Troy University, University of Arizona and other educational and cultural enrichment opportunities. Maps on file.</p> <p>http://tusd1.org/contents/distinfo/choosetUSD.asp</p>
Commercial Facilities	2	<p>Site is within 2 miles of major grocery stores, pharmacies, retail and service businesses, discount stores, medical providers and thrift stores. The project is within a short walk of the 4th Avenue shopping district. The project is within 2 blocks of Suntran bus north/south # 19 and east/west #3 routes connecting to transit hubs and the Sunlink streetcar line connecting to the U of A and downtown. Maps on file.</p>
Health Care and Social Services	2	<p>The project site is within 4 miles of 2 major medical centers, including the Southern Arizona VA Health Care campus and the El Rio Health Center. Numerous emergency facilities, clinics, physician services and social services are within an easy commute on public transit. The approximately 140 additional residents will not have an adverse impact on the available services. Maps on file.</p>
Solid Waste Disposal / Recycling	2	<p>The City of Tucson Environmental Services Department currently provides onsite waste disposal and recycling services. The City of Tucson provides extensive recycling options, including construction debris handling and recycling, landfills, green waste recycling and household hazardous waste disposal services.</p> <p>https://www.tucsonaz.gov/environmental-services</p>
Waste Water / Sanitary Sewers	2	<p>Pima County Wastewater provides wastewater and sewer service to site. Utilities are in place on site and ready for construction. Letter from Lorenzo Hernandez 2/25/15 on file.</p>
Water Supply	2	<p>City of Tucson water already supplies water to project site. Utilities are in place on site and ready for construction. Letter from Richard Sarti dated 2/25/15 on file.</p>
Public Safety - Police, Fire and Emergency Medical	2	<p>Sgt. Jeremy Williams TPD stated in an email that the proposed project would not create an unusual or significant burden to TPD. The site is approximately 4 miles from the Rincon Police Station. Response time varies depending on the type of call, but the average time for emergency response is 5 minutes or less.</p> <p>https://www.tucsonaz.gov/police/operations-division-downtown</p> <p>Email from Fire Captain Jeff Lanjeans at Tucson Fire Department states that the proposed project would not create an unusual or significant</p>

		<p>burden to TFD. The project is within 2 miles of Tucson Fire Stations 3 & 4. Average response time for TFD is 4 minutes.</p> <p>The project site is within 7 miles of major medical centers with emergency medical care including Carondelet St. Mary's Hospital, Banner UMC Medical Center, Southern Arizona VA Health Care Center, Banner UMC Medical Center South and numerous urgent care facilities. Maps on file.</p>
Parks, Open Space and Recreation	2	The project is with walking distance or a short commute on public transit of 3 regional recreation centers including sports fields, swimming pools, fitness programs, recreation classes, senior lunches and other senior programs, basketball courts, tennis courts and open space. There are a number of small parks and open space areas within a reasonable walk of the project site, including the University of Arizona campus and facilities. Maps on file.
Transportation and Accessibility	2	<p>The project is within 2 blocks of Suntran bus north/south # 19 and east/west #3 routes connecting to transit hubs and the Greyhound Bus Line, and within ½ mile of the Sunlink streetcar line connecting to the U of A and downtown. The site is fully accessible by car and has adequate street access and off street parking for current and future development. The residents have access to the City of Tucson Sun Shuttle and other medical transportation providers. Maps and photos on file.</p> <p>http://www.suntran.com/PDF/routes/AUG_15_rt_3.pdf</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	<p>The site has no unique natural features or water resources. The site is fully developed and has been graded, leveled and completely built up or paved. Phase I environmental site assessment dated 2/27/15 and updated 6/3/15 by Terracon Consultants, Inc., site visit by HCD staff 10/2/15 updated 2/23/16. Photos and maps on file.</p> <p>http://maps.tucsonaz.gov/hcd/index_old.html</p>
Vegetation, Wildlife	2	<p>The site is fully developed and has been graded, leveled and completely built up or paved. Phase I environmental site assessment dated 2/27/15 and updated 6/3/15 by Terracon Consultants, Inc. on file and site visit by HCD staff 10/2/15 updated 2/23/16. Photos and maps on file.</p> <p>http://maps.tucsonaz.gov/hcd/index_old.html</p>
Other Factors		

Additional Studies Performed:

Market Demand Analysis by Lea & Company 3/3/15
 Phase I Environmental Site Assessment by Terracon Consultants, Inc. 2/27/15, updated 6/3/15
 Asbestos & Lead Based Paint Survey by Terracon Consultants, Inc. 2/27/15
 Custom Soil Resource Report for Pima County Arizona, USDA NRCS dated 1/11/16
 Limited Site Investigation Report (Phase II) Terracon Consultants, Inc. 2/3/16
 Noise Survey Report by Terracon 5/12/16
 Amendment to Noise Study by Acoustical Consulting Services 5/23/16

Field Inspection (Date and completed by): 10/2/15 by Glenn Fournie, HCD staff updated 2/23/16.

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

Arizona Department of Housing (ADOH)
City of Tucson Housing and Community Development Department
City of Tucson Planning and Development Services
City of Tucson Department of Transportation
City of Tucson Suntran
Tucson Fire Department-Sgt. Mike Wilder
Tucson Police Department-Captain Jeff Langejans
City of Tucson Department of Environmental Quality
Tucson Water
Pima County Wastewater Management
City of Tucson Historic Preservation Officer Dr. Jonathan Mabry
SHPO Robert Frankenburger
Bitform Architecture Group LLC
Gardener Capital Development
Butler Housing Company Inc.

Cumulative Impact Analysis [24 CFR 58.32]:

The primary objective for this project is to invest in Tucson neighborhoods, while providing a suitable living environment and supporting low income households working in and/or benefitting from living near downtown Tucson. This project provides affordable housing while also expanding services access and better utilizing the existing residential designation of this area. The housing project is aligned with the goals of the City of Tucson General plan, including Infill Incentive District plans for the downtown area. The proposed improvements provide positive secondary benefits of stabilizing area tax bases and improving overall property values.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

Several alternatives were considered for this project; however, the residential location of this site is uniquely central and accessible to individuals who would benefit most from this affordable housing development, those without transportation and those who work in downtown areas. Additional locational considerations included the target amenities as defined by the Arizona Department of Housing. One of the primary factors that necessitate this development is the dire need for affordable family rental housing near downtown Tucson, which is also located on or near existing bus/transportation lines and within walking distance to downtown shopping and important services.

This is a project of opportunity with the potential to address the need for development in an existing residential area with a private development partner who has resources to leverage federal and private funding. Alternative sites that exist do not provide the cost effective or "ready to develop" assets of the subject property. Location of another site with the combination of access to transportation services and public amenities, the residential setting, zoning compatibility would not be readily found.

Reducing the number of units or density of the project would move it out of the range of economic feasibility for the developer.

This project has been developed with the overall goal of securing resources to provide affordable housing assistance in the downtown area that creates a suitable living environment and can expand available resources. There is an economy of scale that if the funding is too limited, it is too costly to implement the activity. Other resources which might be available are not readily apparent and developing additional funding resources for this project would only create a substantial delay or eliminate the project completely. The alternative if necessary resources were not available at the estimated levels would most likely eliminate the possibility of expanding assistance to low income families with affordable housing.

No Action Alternative [24 CFR 58.40(e)]:

The no action alternative is not feasible for this project. The dire need for low income family housing in this area, based on the jurisdictional demographic needs has been researched and established in the City of Tucson Consolidated Plan. If the project were abandoned the need to redevelop the downtown area would not be served and the need to address the affordable family housing demand which is increasing in the City of Tucson.

Summary of Findings and Conclusions:

The proposed 7th Avenue Commons project will not adversely affect environment or the neighborhood. The activity is compatible with the existing uses in the area. There will be little to no impact on existing resources or services in the area. This project has been developed with the overall goal of securing resources to provide affordable housing assistance in the downtown area that creates a suitable living environment and can expand available resources.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Developer will utilize construction practices and noise attenuating dual paned window to meet or exceed HUD DNL noise requirements of less than 45 decibel interior sound level as recommended in the Acoustical Sciences Noise study and confirmed in the letter from Bitform Architects dated 5/24/16.

Determination:

☒ **Finding of No Significant Impact** [24 CFR 58.40(g)(1); 40 CFR 1508.27]

The project will not result in a significant impact on the quality of the human environment.

☐ **Finding of Significant Impact** [24 CFR 58.40(g)(2); 40 CFR 1508.27]

The project may significantly affect the quality of the human environment.

Preparer Signature: _____

Date: _____

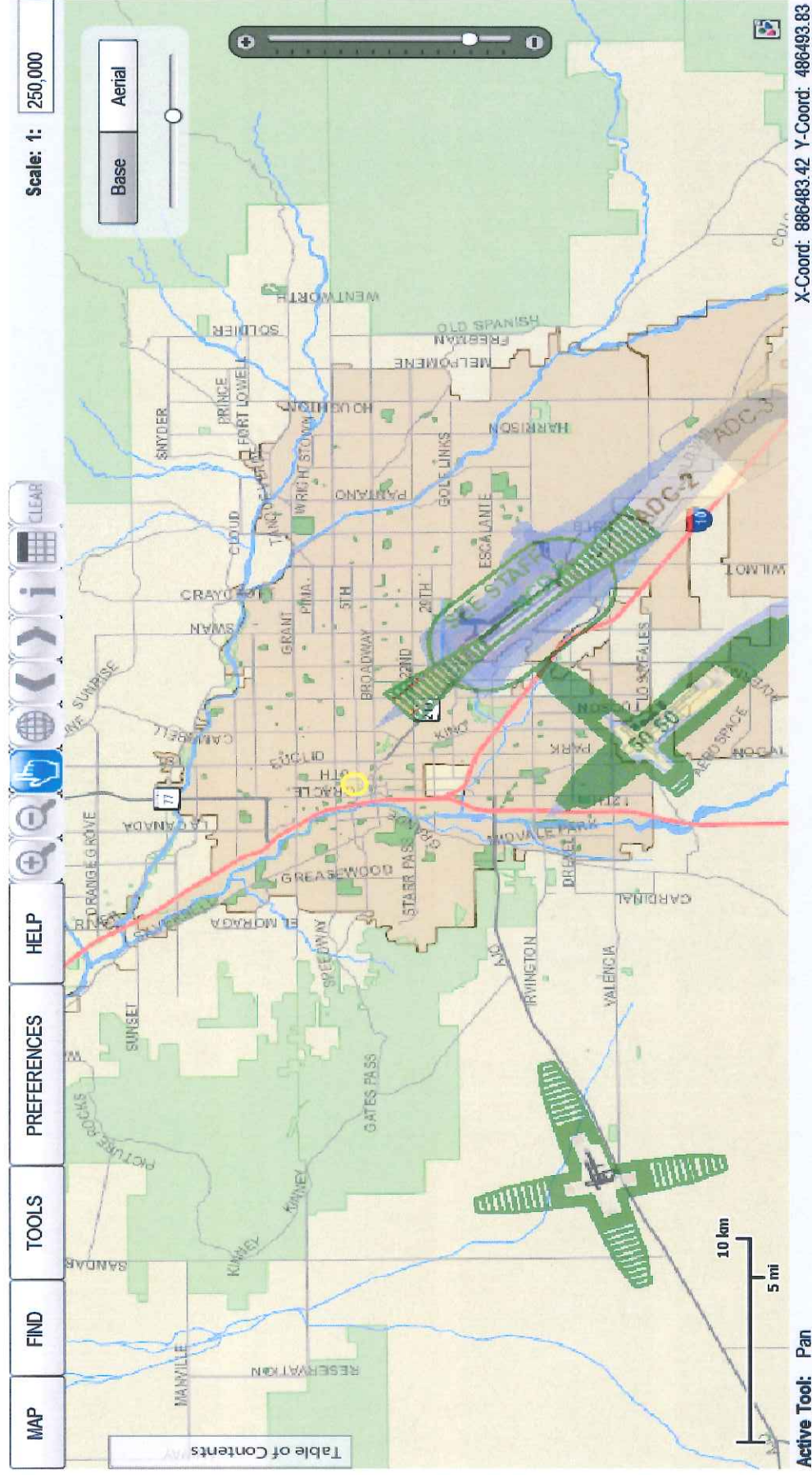
Name/Title/Organization: **Glenn Fournie, Project Coordinator City of Tucson Housing and Community Development Department**

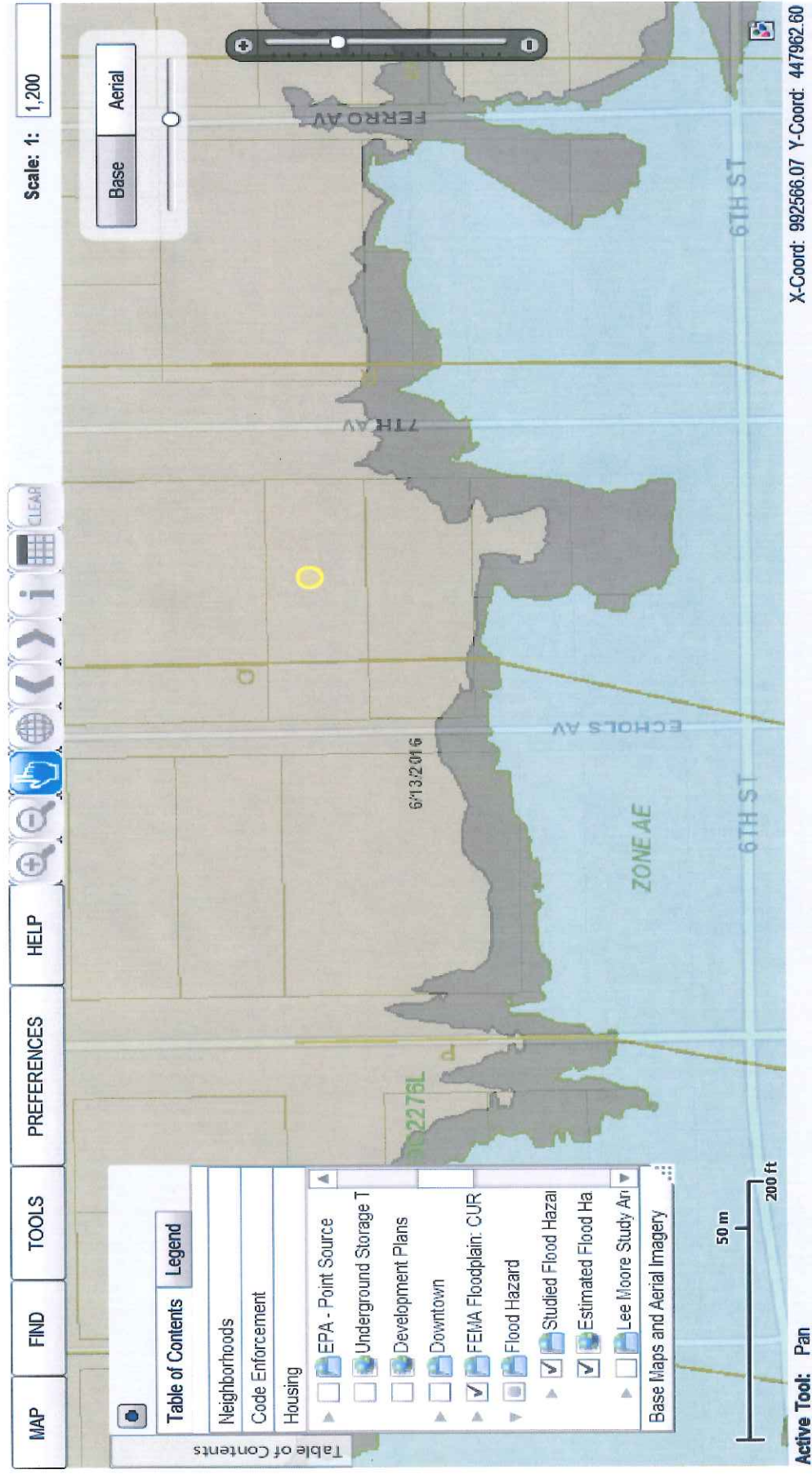
Certifying Officer Signature: _____

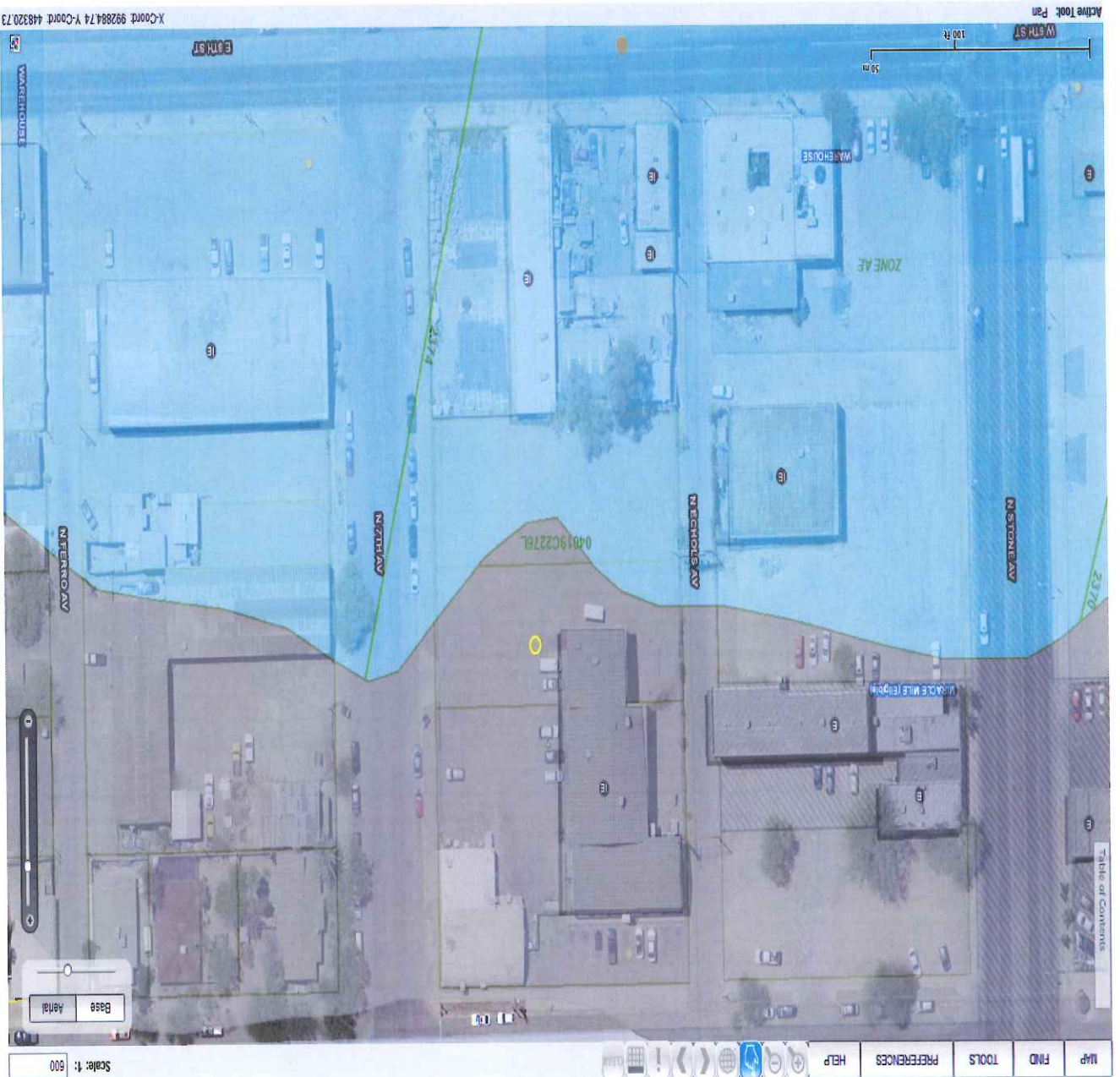
Date: _____

Name/Title: **Sally Stang, Director City of Tucson Housing and Community Development Department**

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).







Home ▾ FEMA's National Flood Hazard Layer (Official)

Details | Basemap | Content | Legend | Share | Print | Measure

About Content Legend

Legend

Unaccredited Levee

Accredited Levee

General Structures

Flood Structure

Bridge

Dam, Weir, Jetty

Other Structure

Flood Hazard Boundaries

Limit Lines

SFHA / Flood Zone Boundary

Other Boundaries

Flood Hazard Zones

1% Annual Chance Flood Hazard

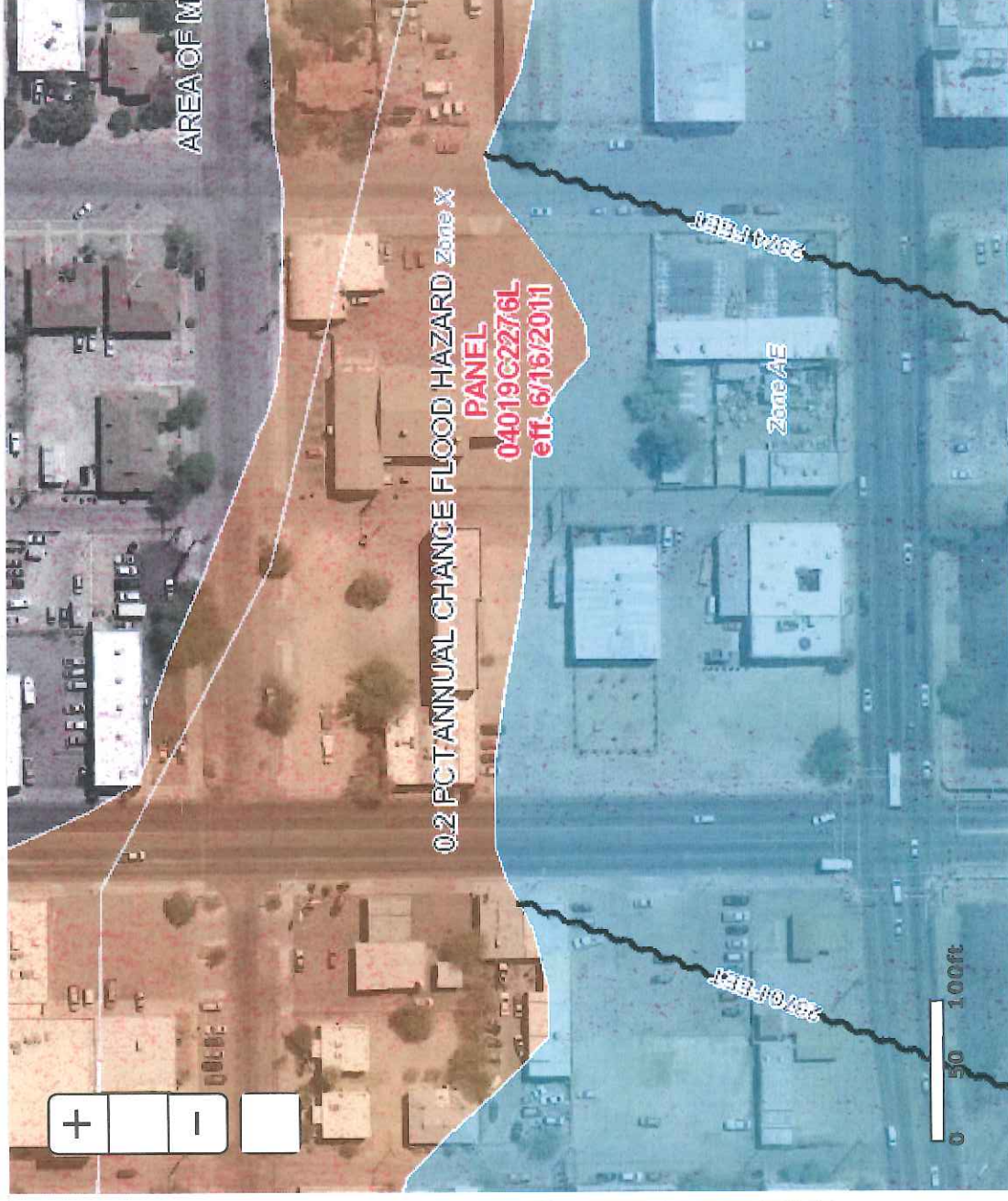
Regulatory Floodway

Special Floodway

Area of Undetermined Flood Hazard

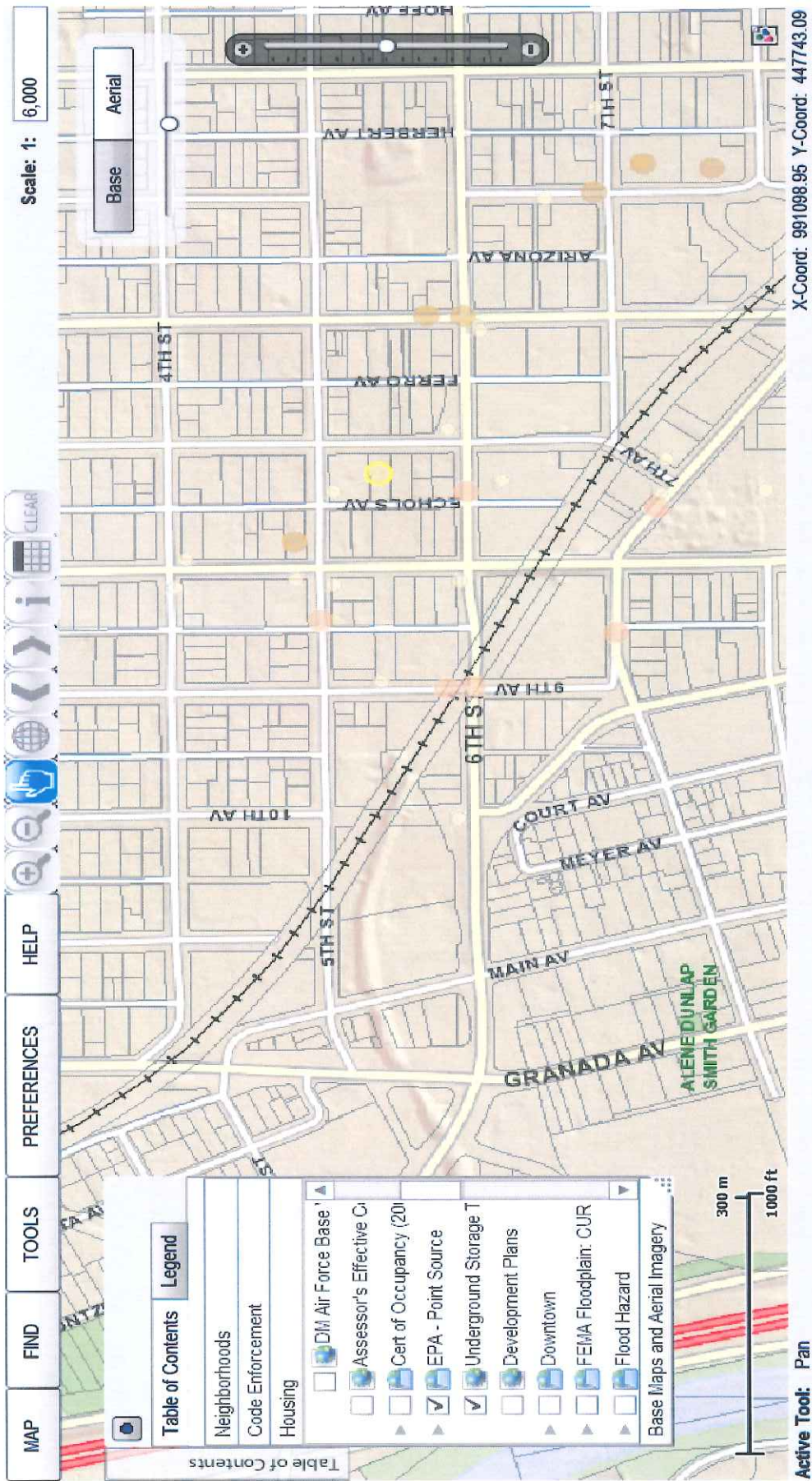
0.2% Annual Chance Flood Hazard

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Contact Us . Report Abuse

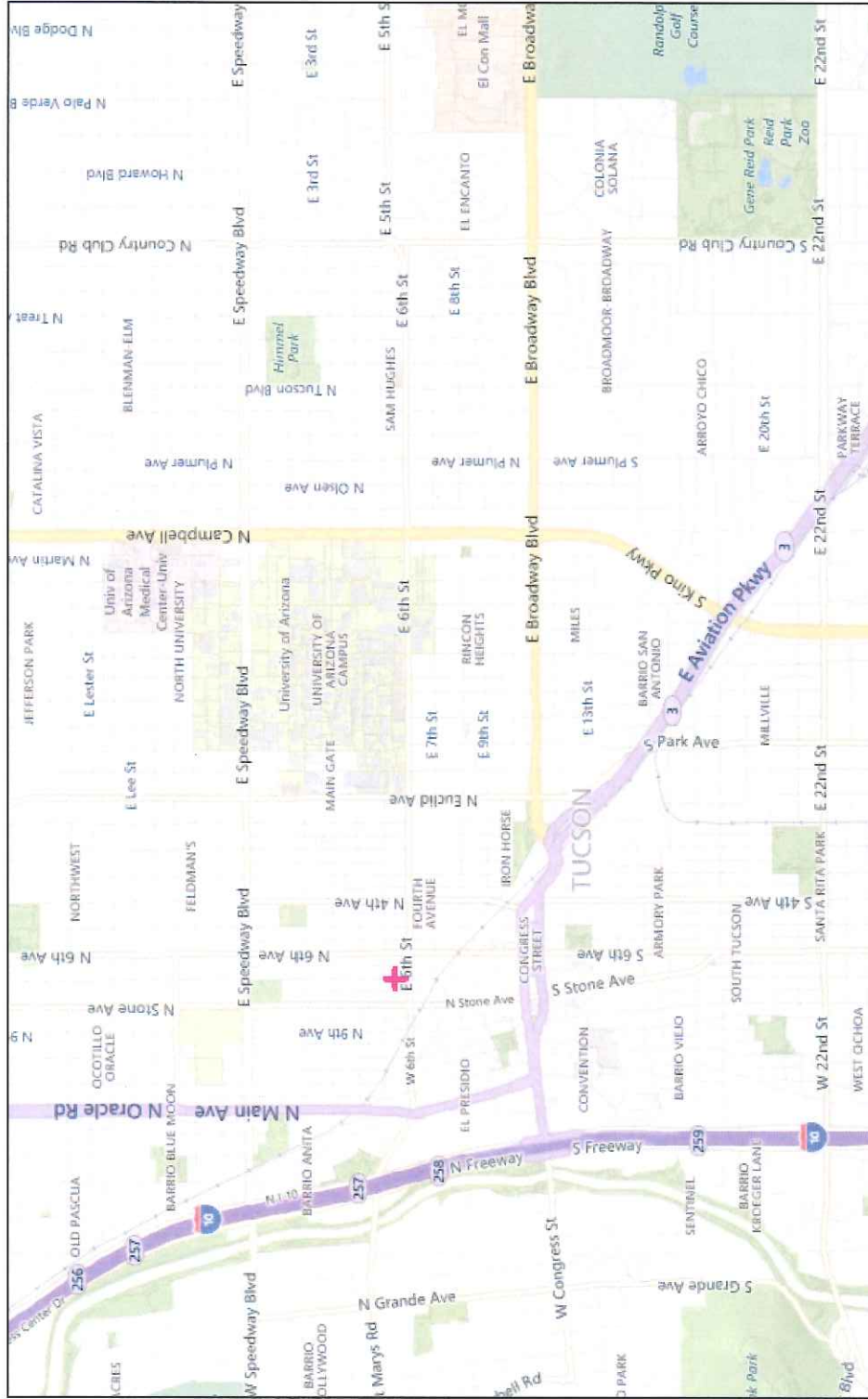


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- | Model | ACRES (clustered) | TRI (single) | RCRAINFO (clustered) |
|-----------|-------------------|--------------|----------------------|
| Model 1 | + | | + |
| Model 2 | | + | |
| Model 3 | | | + |
| Model 4 | + | | |
| Model 5 | | + | |
| Model 6 | | | + |
| Model 7 | + | | |
| Model 8 | | + | |
| Model 9 | | | + |
| Model 10 | + | | |
| Model 11 | | + | |
| Model 12 | | | + |
| Model 13 | + | | |
| Model 14 | | + | |
| Model 15 | | | + |
| Model 16 | + | | |
| Model 17 | | + | |
| Model 18 | | | + |
| Model 19 | + | | |
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7th Avenue Commons Critical Habitat



June 15, 2016

+ Search Result (point)

— Critical Habitat - Final - Linear Features

— Critical Habitat - Proposed - Linear Features

■ Critical Habitat - Final - Polygonal Features

■ Critical Habitat - Proposed - Polygonal Features

1:36,112

0 0.3 0.6 1.2 mi

0 0.5 1 2 km

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5th-7th Center

IPaC Trust Resource Report

Generated January 11, 2016 02:58 PM MST, IPaC v2.3.2

This report is for informational purposes only and should not be used for planning or analyzing project level impacts. For project reviews that require U.S. Fish & Wildlife Service review or concurrence, please return to the IPaC website and request an official species list from the Regulatory Documents page.



US Fish & Wildlife Service

IPaC Trust Resource Report



NAME

5th-7th Center

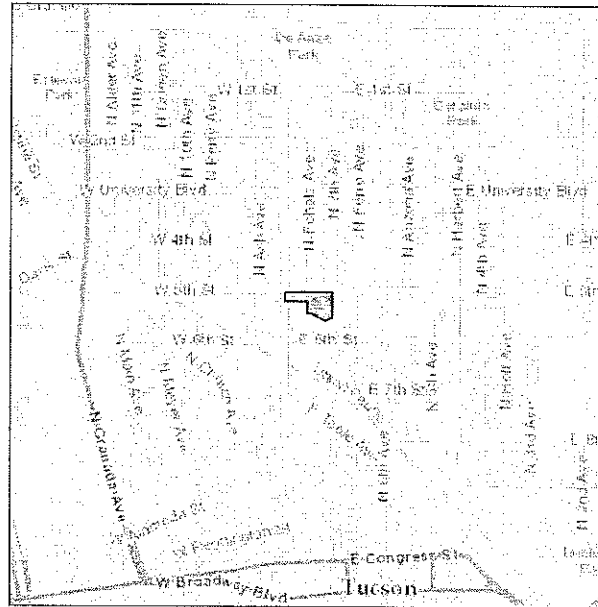
LOCATION

Pima County, Arizona

IPAC LINK

<https://ecos.fws.gov/ipac/project/>

RWJHD-P5G75-B5LHX-LUGMS-ZH6KF!



U.S. Fish & Wildlife Contact Information

Trust resources in this location are managed by:

Arizona Ecological Services Field Office

2321 West Royal Palm Road, Suite 103

Phoenix, AZ 85021-4915

(602) 242-0210

Endangered Species

Proposed, candidate, threatened, and endangered species are managed by the Endangered Species Program of the U.S. Fish & Wildlife Service.

This USFWS trust resource report is for informational purposes only and should not be used for planning or analyzing project level impacts.

For project evaluations that require FWS concurrence/review, please return to the IPaC website and request an official species list from the Regulatory Documents section.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency.

A letter from the local office and a species list which fulfills this requirement can only be obtained by requesting an official species list from the Regulatory Documents section in IPaC.

The list of species below are those that may occur or could potentially be affected by activities in this location:

Birds

California Least Tern *Sterna antillarum browni* Endangered

CRITICAL HABITAT

No critical habitat has been designated for this species.

https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B03X

Yellow-billed Cuckoo *Coccyzus americanus* Threatened

CRITICAL HABITAT

There is **proposed** critical habitat designated for this species.

https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B06R

Flowering Plants

Pima Pineapple Cactus *Coryphantha scheeri* var. *robustispina* Endangered

CRITICAL HABITAT

No critical habitat has been designated for this species.

https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=Q27M

Mammals

Jaguar *Panthera onca*

Endangered

CRITICAL HABITAT

There is **final** critical habitat designated for this species.

https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=A040

Lesser Long-nosed Bat *Leptonycteris curasoae yerbabuenae*

Endangered

CRITICAL HABITAT

No critical habitat has been designated for this species.

https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=A0AD

Reptiles

Northern Mexican Gartersnake *Thamnophis eques megalops*

Threatened

CRITICAL HABITAT

There is **proposed** critical habitat designated for this species.

https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=C04Q

Sonoyta Mud Turtle *Kinosternon sonoriense longifemorale*

Candidate

CRITICAL HABITAT

No critical habitat has been designated for this species.

https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=C067

Critical Habitats

There are no critical habitats in this location

Migratory Birds

Birds are protected by the Migratory Bird Treaty Act and the Bald and Golden Eagle Protection Act.

Any activity which results in the take of migratory birds or eagles is prohibited unless authorized by the U.S. Fish and Wildlife Service (1). There are no provisions for allowing the take of migratory birds that are unintentionally killed or injured.

Any person or organization who plans or conducts activities that may result in the take of migratory birds is responsible for complying with the appropriate regulations and implementing appropriate conservation measures.

Additional information can be found using the following links:

- Birds of Conservation Concern
<http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
- Conservation measures for birds
<http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
- Year-round bird occurrence data
<http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/akn-histogram-tools.php>

The following species of migratory birds could potentially be affected by activities in this location:

Bald Eagle <i>Haliaeetus leucocephalus</i> Season: Wintering https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B008	Bird of conservation concern
Bell's Vireo <i>Vireo bellii</i> Season: Breeding https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0JX	Bird of conservation concern
Bendire's Thrasher <i>Toxostoma bendirei</i> Year-round https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0IF	Bird of conservation concern
Black-chinned Sparrow <i>Spizella atrogularis</i> Season: Wintering https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0IR	Bird of conservation concern
Blue-throated Hummingbird <i>Lampornis clemenciae</i> Season: Breeding	Bird of conservation concern
Brewer's Sparrow <i>Spizella breweri</i> Season: Wintering https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0HA	Bird of conservation concern

Burrowing Owl <i>Athene cucularia</i>	Bird of conservation concern
Year-round	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0NC	
Chestnut-collared Longspur <i>Calcarius ornatus</i>	Bird of conservation concern
Season: Wintering	
Common Black-hawk <i>Buteogallus anthracinus</i>	Bird of conservation concern
Season: Breeding	
Costa's Hummingbird <i>Calypte costae</i>	Bird of conservation concern
Season: Breeding	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0JE	
Elegant Trogon <i>Trogon elegans</i>	Bird of conservation concern
Year-round	
Elf Owl <i>Micrathene whitneyi</i>	Bird of conservation concern
Season: Breeding	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0GV	
Fox Sparrow <i>Passerella iliaca</i>	Bird of conservation concern
Season: Wintering	
Gila Woodpecker <i>Melanerpes uropygialis</i>	Bird of conservation concern
Year-round	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0EH	
Gilded Flicker <i>Colaptes chrysoides</i>	Bird of conservation concern
Year-round	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0EG	
Golden Eagle <i>Aquila chrysaetos</i>	Bird of conservation concern
Year-round	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0DV	
Gray Vireo <i>Vireo vicinior</i>	Bird of conservation concern
Season: Wintering	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0G5	
Lawrence's Goldfinch <i>Carduelis lawrencei</i>	Bird of conservation concern
Year-round	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0J8	
Lewis's Woodpecker <i>Melanerpes lewis</i>	Bird of conservation concern
Season: Wintering	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0HQ	
Loggerhead Shrike <i>Lanius ludovicianus</i>	Bird of conservation concern
Year-round	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0FY	
Long-billed Curlew <i>Numenius americanus</i>	Bird of conservation concern
Season: Wintering	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B06S	
Lucy's Warbler <i>Vermivora luciae</i>	Bird of conservation concern
Season: Breeding	
https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0DL	

Mccown's Longspur <i>Calcarius mccownii</i> Season: Wintering https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0HB	Bird of conservation concern
Northern Beardless-tyrannulet <i>Camptostoma imberbe</i> Season: Breeding	Bird of conservation concern
Peregrine Falcon <i>Falco peregrinus</i> Year-round https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0FU	Bird of conservation concern
Prairie Falcon <i>Falco mexicanus</i> Year-round https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0ER	Bird of conservation concern
Rufous-crowned Sparrow <i>Aimophila ruficeps</i> Year-round https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0MX	Bird of conservation concern
Rufous-winged Sparrow <i>Aimophila carpalis</i> Year-round	Bird of conservation concern
Short-eared Owl <i>Asio flammeus</i> Season: Wintering https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0HD	Bird of conservation concern
Sonoran Yellow Warbler <i>Dendroica petechia</i> ssp. <i>sonorana</i> Season: Breeding https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0F7	Bird of conservation concern
Sprague's Pipit <i>Anthus spragueii</i> Season: Wintering https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0GD	Bird of conservation concern
Swainson's Hawk <i>Buteo swainsoni</i> Season: Breeding https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B070	Bird of conservation concern
Varied Bunting <i>Passerina versicolor</i> Season: Breeding	Bird of conservation concern
Willow Flycatcher <i>Empidonax traillii</i> Season: Breeding https://ecos.fws.gov/tess_public/profile/speciesProfile.action?spcode=B0F6	Bird of conservation concern

Refuges

Any activity proposed on National Wildlife Refuge lands must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

There are no refuges in this location

Wetlands in the National Wetlands Inventory

Impacts to NWI wetlands and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal Statutes.

For more information please contact the Regulatory Program of the local U.S. Army Corps of Engineers District.

DATA LIMITATIONS

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

DATA EXCLUSIONS

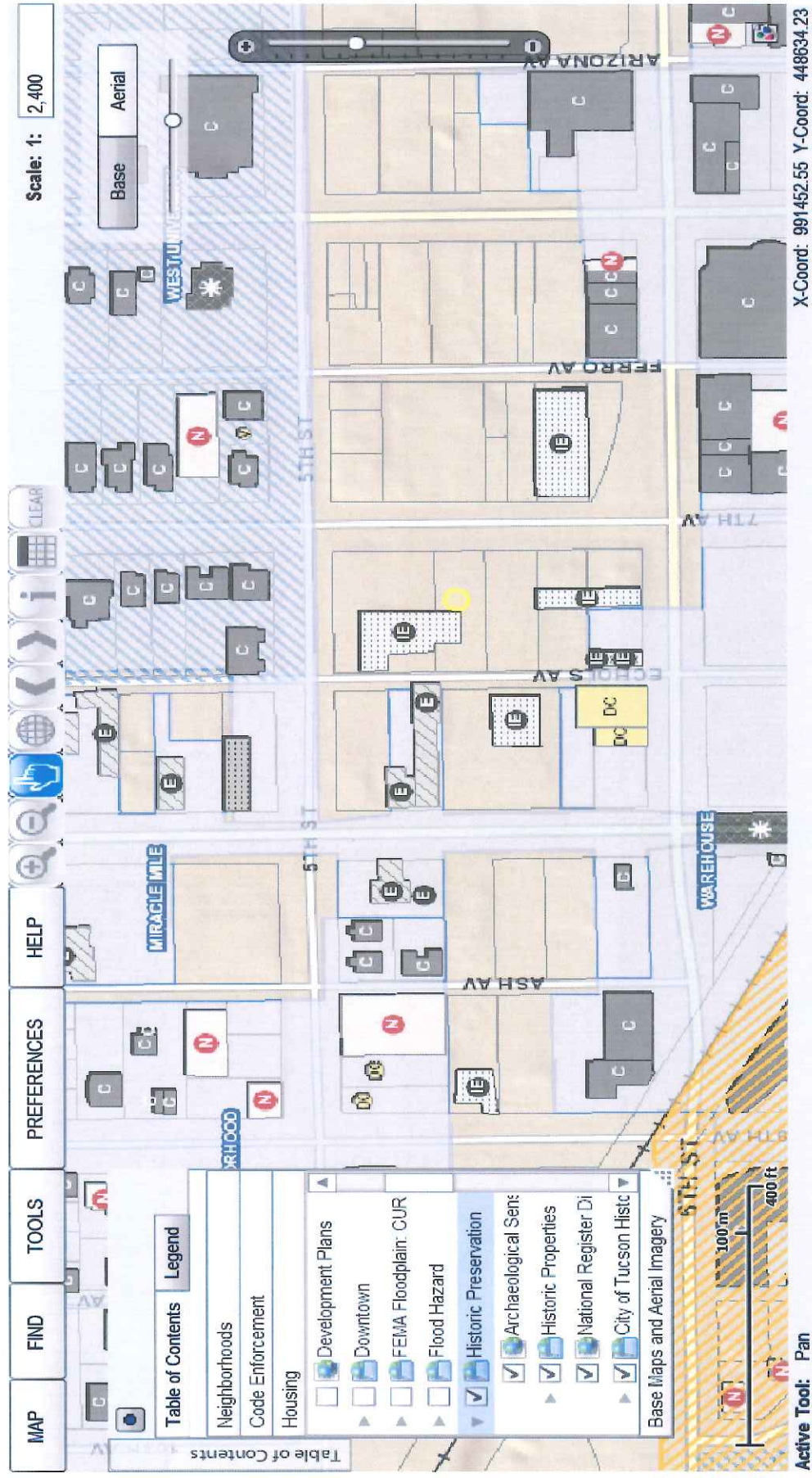
Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

DATA PRECAUTIONS

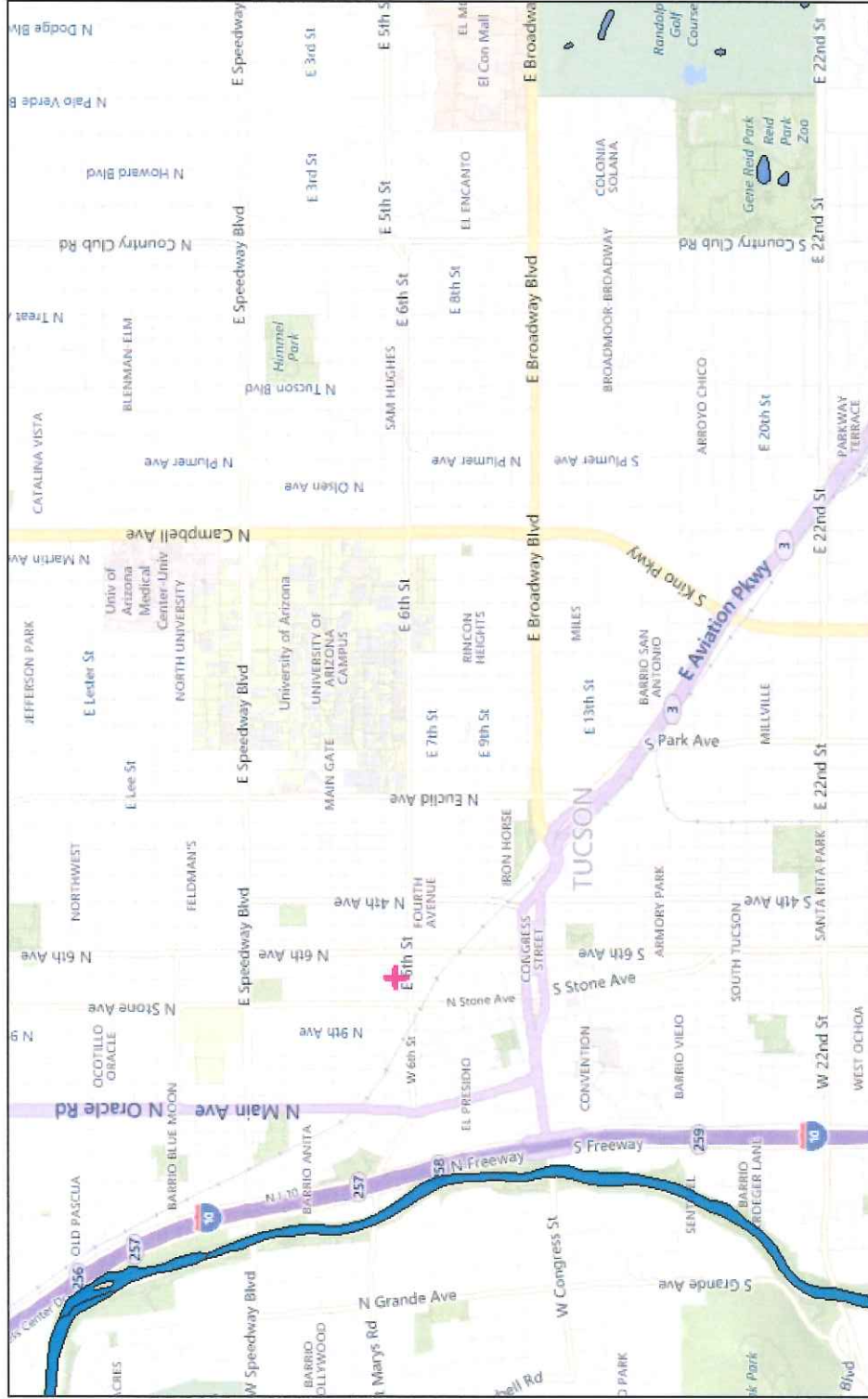
Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

There are no wetlands in this location

The figure is an aerial photograph of a city block, overlaid with yellow lines that delineate individual property lots. A single lot in the upper-middle section of the block is circled in yellow. The map is oriented with North at the top. In the bottom-left corner, there is a 'Table of Contents' box. In the bottom-right corner, there is a scale bar indicating 100 meters and 400 feet. The map is part of a software interface, as evidenced by the 'Map', 'Find', 'Tools', 'Preferences', 'Help', and 'Clear' buttons visible along the left edge.



7th Avenue Commons Wetlands



June 15, 2016

- + Search Result (point)
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine

1:36,112
0 0.3 0.6 1.2 mi
0 0.5 1 2 km

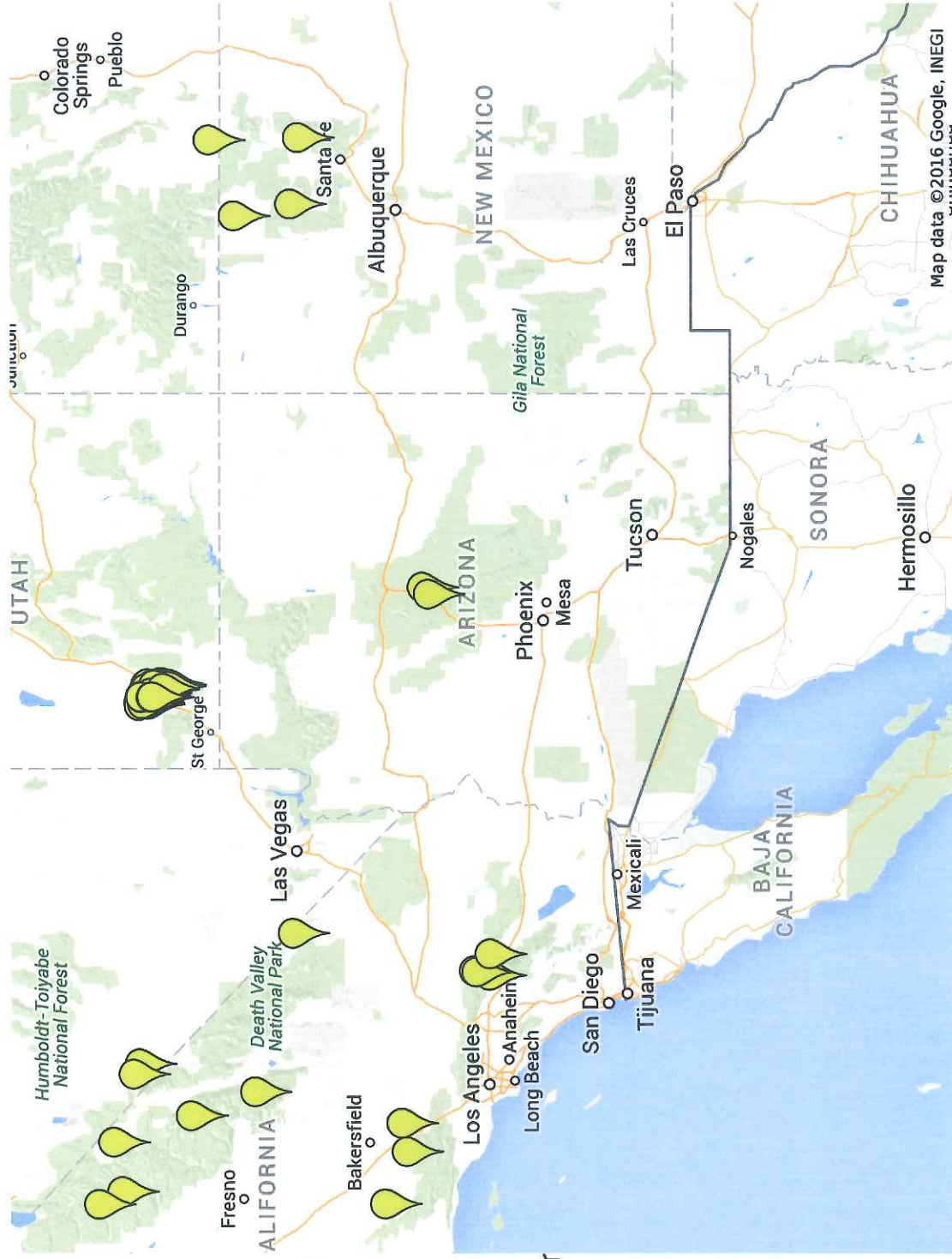
© 2010 NAVTEQ AND © 2016 Microsoft Corporation

Wild & Scenic Rivers

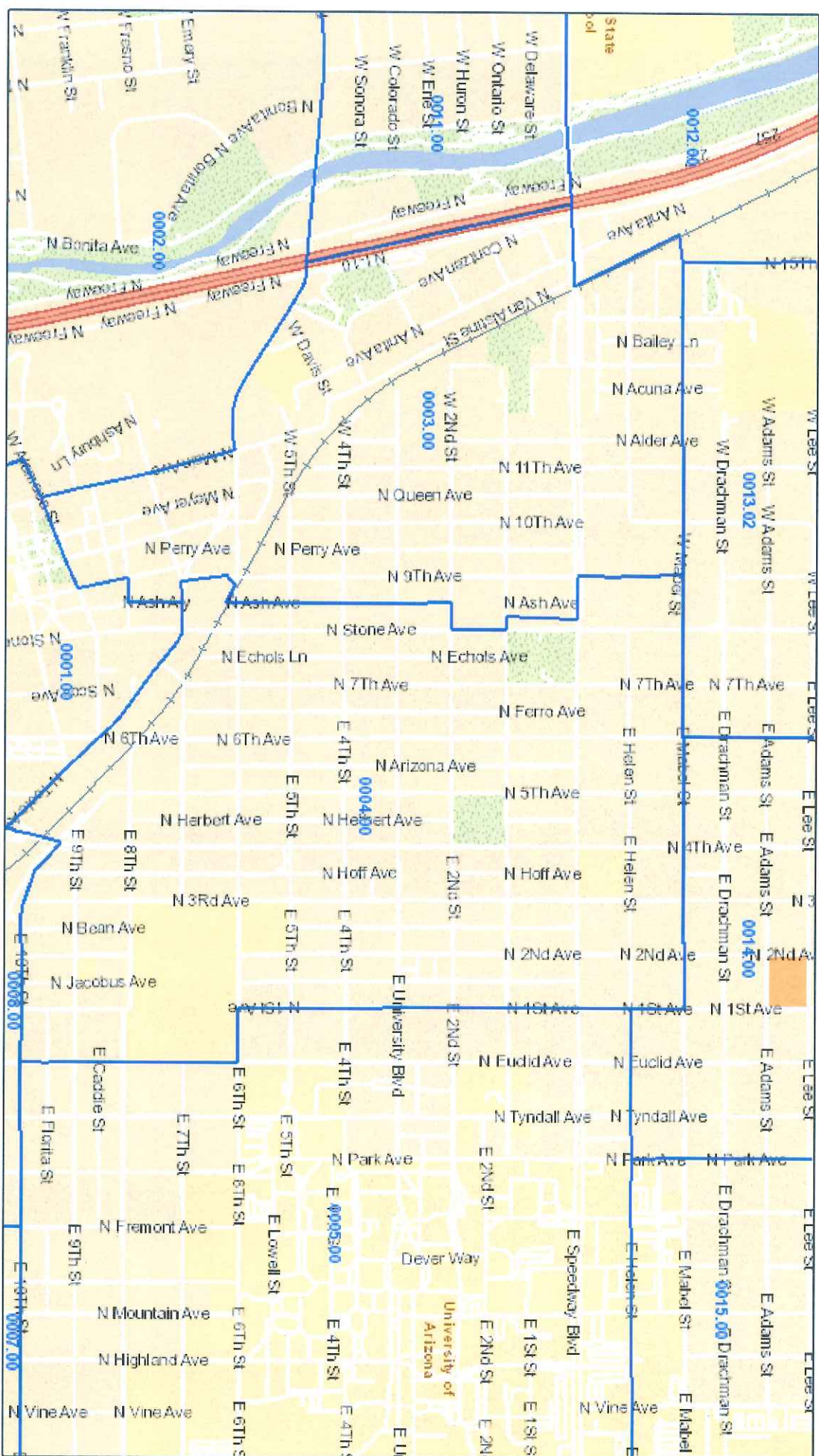
Wild & Scenic Rivers



Only a fraction of one percent of rivers nationwide remain wild and free, unencumbered by dams and poorly planned development. American Rivers is dedicated to conserving these rivers while we still can through Wild and Scenic River designation, the strongest and most effective tool to protect rivers and the lands along their banks. Learn more about our campaigns at



<http://www.americanrivers.org/initiatives/wild-and-scenic/>.



MSA: || State: || County: || Tract Code:

MSA: || State: || County: || Tract Code:



2015 FFIEC Geocode Census Report

Address: 529 N 7TH AVE, TUCSON, AZ, 85705
 MSA: 46060 - TUCSON, AZ
 State: 04 - ARIZONA
 County: 019 - PIMA COUNTY
 Tract Code: 0004.00

Summary Census Demographic Information

Tract Income Level	Middle
Underserved or Distressed Tract	No
2015 FFIEC Estimated MSA/MD/non-MSA/MD Median Family Income	\$59,000
2015 Estimated Tract Median Family Income	\$63,809
2010 Tract Median Family Income	\$62,054
Tract Median Family Income %	108.15
Tract Population	3442
Tract Minority %	30.07
Tract Minority Population	1035
Owner-Occupied Units	364
1 - to 4 - Family Units	1406

Census Income Information

Tract Income Level	Middle
2010 MSA/MD/statewide non-MSA/MD Median Family Income	\$57,377
2015 FFIEC Estimated MSA/MD/non-MSA/MD Median Family Income	\$59,000
% below Poverty Line	33.47
Tract Median Family Income %	108.15
2010 Tract Median Family Income	\$62,054
2015 Estimated Tract Median Family Income	\$63,809
2010 Tract Median Household Income	\$24,443

Census Population Information

Tract Population	3442
Tract Minority %	30.07
Number of Families	307
Number of Households	1751
Non-Hispanic White Population	2407
Tract Minority Population	1035
American Indian Population	56
Asian/Hawaiian/Pacific Islander Population	162
Black Population	84
Hispanic Population	647
Other/Two or More Races Population	86

Census Housing Information

Total Housing Units	2009
1- to 4- Family Units	1406
Median House Age (Years)	71
Owner-Occupied Units	364
Renter Occupied Units	1387
Owner Occupied 1- to 4- Family Units	364
Inside Principal City?	YES
Vacant Units	258



JONATHAN ROTHCHILD
MAYOR

CITY OF TUCSON
OFFICE OF THE MAYOR

255 WEST ALAMEDA
P.O. BOX 27210
TUCSON, ARIZONA 85726-7210
PHONE: (520) 791-4201
FAX: (520) 791-5348

February 25, 2015

Arizona Department of Housing
ATTN: Michael Traylor, Director
1110 W. Washington St. Suite 310
Phoenix, AZ 85007

Re: LIHTC Application
Butler Housing Co./Gardner Capital Development
7th Avenue Commons

Dear Mr. Traylor:

The City of Tucson has developed an inter-departmental review team to evaluate proposed projects within the City and to assist developers in obtaining needed information and support. As such we are providing a standardized support letter and documentation to ensure consistency and completeness. This letter culminates and is endorsed by the appropriate local government officials with details outlined and executed below.

City of Tucson Planning and Development Services Department (PDSD)

Staff from the City of Tucson Planning and Development Services Department has reviewed the site plan and determined that the Project has achieved final site plan approval. ~~A copy of the Arizona Department of Housing LIHTC Form 9 - Local Government Site Plan Approval is attached as Attachment #1.~~ Also, PDSD staff has reviewed project as proposed and confirmed that the current zoning status of C-3 permits constructed of the project as proposed. A copy of the Arizona Department of Housing LIHTC Form 10 - Planning and Zoning Verification is attached as Attachment #2.

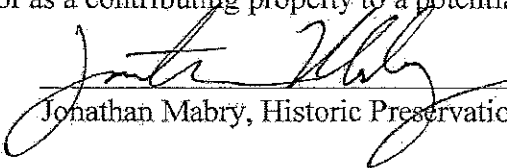

Ernie Duarte, Director - PDSD

February 25, 2015

City of Tucson Office of Historic Preservation

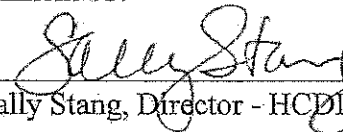
The City of Tucson is a Certified Local Government (CLG) designated by the National Park Service and the Arizona State Historic Preservation Office (AZ SHPO). This CLG designation requires the City Historic Preservation Officer to formally comment on whether there will be any adverse effects of a HUD-funded project on a historic property or archaeological site, and to consult with the AZ SHPO on how any adverse effects may be avoided, minimized, or mitigated according to federal standards.

The City Historic Preservation Officer has reviewed your proposed LIHTC project partially financed by HOME funding at the above-referenced property. No archaeological or historic sites are recorded within this parcel. The proposed project will have no adverse effect on any identified historic, archaeological, or other cultural resources. The property is not listed in the National Register of Historic Places, and is not eligible for listing in the National Register, either individually or as a contributing property to a potential National Register historic district.


Jonathan Mabry, Historic Preservation Officer

City of Tucson Housing and Community Development Department

The City of Tucson's Housing and Community Development Department has committed to providing HOME funding of \$215,424 contingent on the project receiving a LIHTC reservation in this tax credit round. The detailed commitment letter is attached as Attachment #3.


Sally Stang, Director - HCD

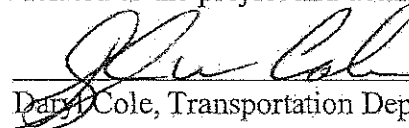
City of Tucson - Water Department

Attached as Attachment #4 is a "will serve" letter from the Tucson Water Department confirming water supply and service for the 7th Avenue Commons project.


Alan Forrest, Director Tucson Water

City of Tucson - Transportation Department

Attached as Attachment #5 is confirmation that there are currently no plans to change, alter, or move bus routes or modern streetcar stops or to reduce service related to the project and detailed on the attachment.

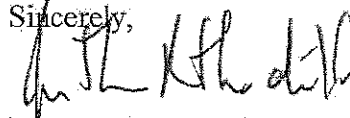

Darryl Cole, Transportation Department Director

February 25, 2015

City of Tucson – Office of the Mayor

The 7th Avenue Commons project is a tremendous opportunity to expand affordable housing opportunities for low income families situated near two modern streetcar stops through both adaptive re-use of an existing structure and new construction on a key in-fill location. The use of sustainable development and green building will provide high quality, low cost housing for our low and moderate income families. This Transit Oriented project aligns with goals and priority set forth in the City's General Plan, Plan Tucson. I believe that the 7th Avenue Commons Project will provide much needed affordable housing and is an exceptional opportunity for the City and its residents.

Sincerely,

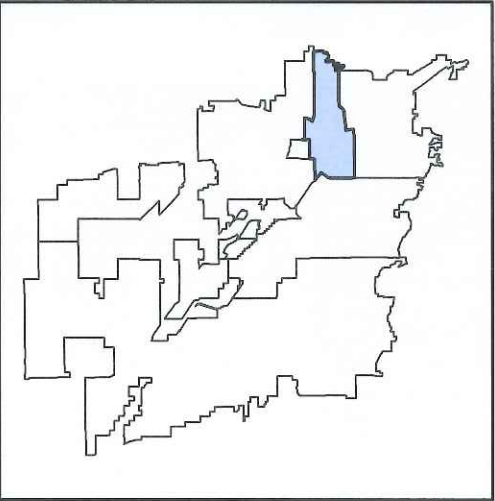
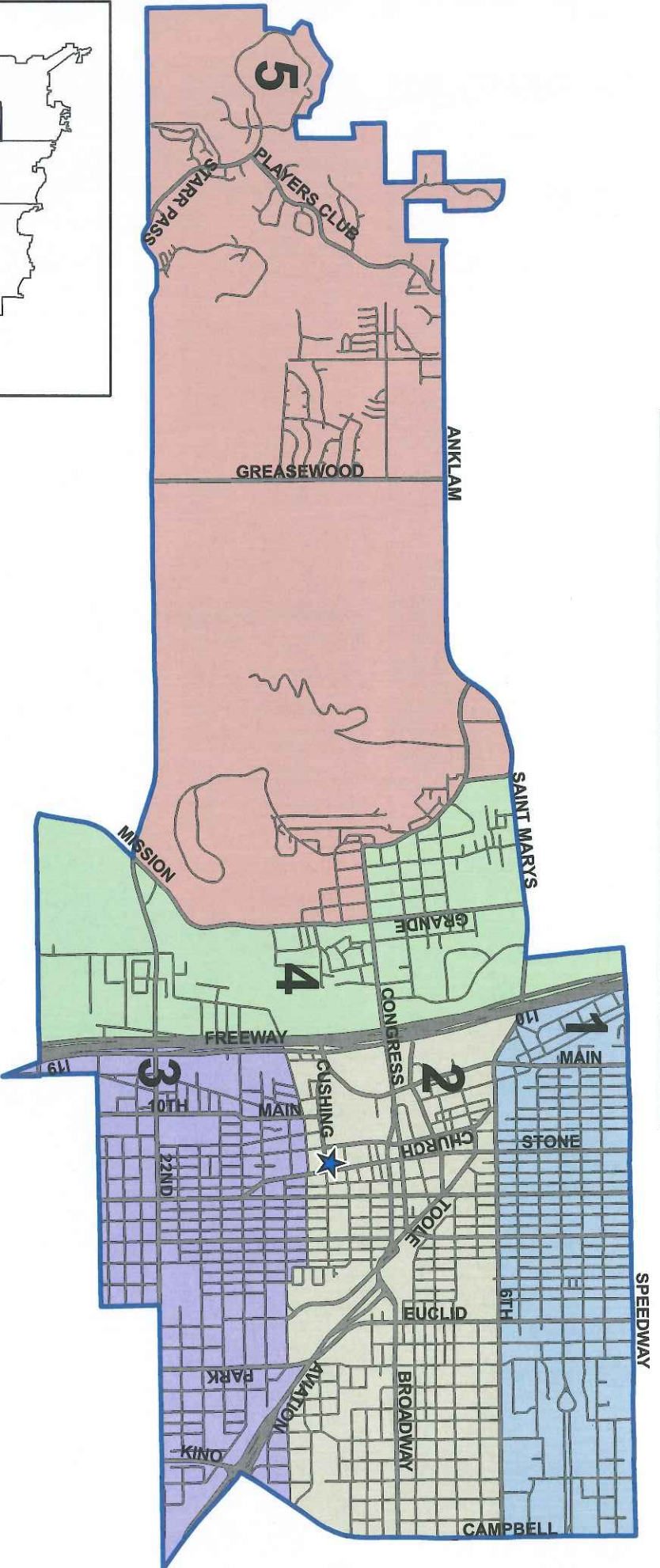
A handwritten signature in black ink, appearing to read 'Jonathan Rothschild', written over the word 'Sincerely,'.

Jonathan Rothschild

Mayor

City of Tucson, Arizona

TUCSON POLICE DEPARTMENT



Legend

- All Streets
- Major Streets
- Downtown Substation

Sectors

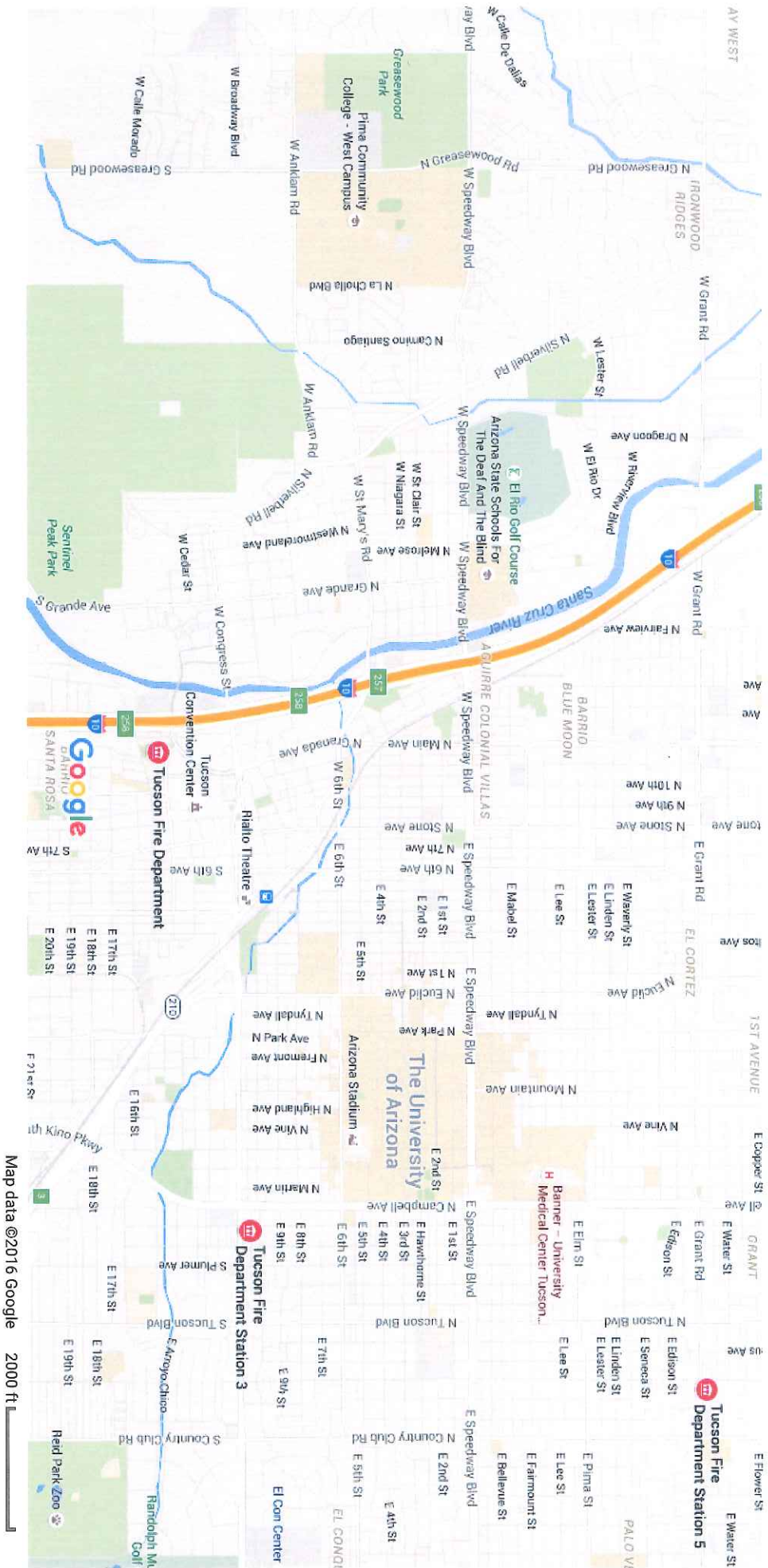
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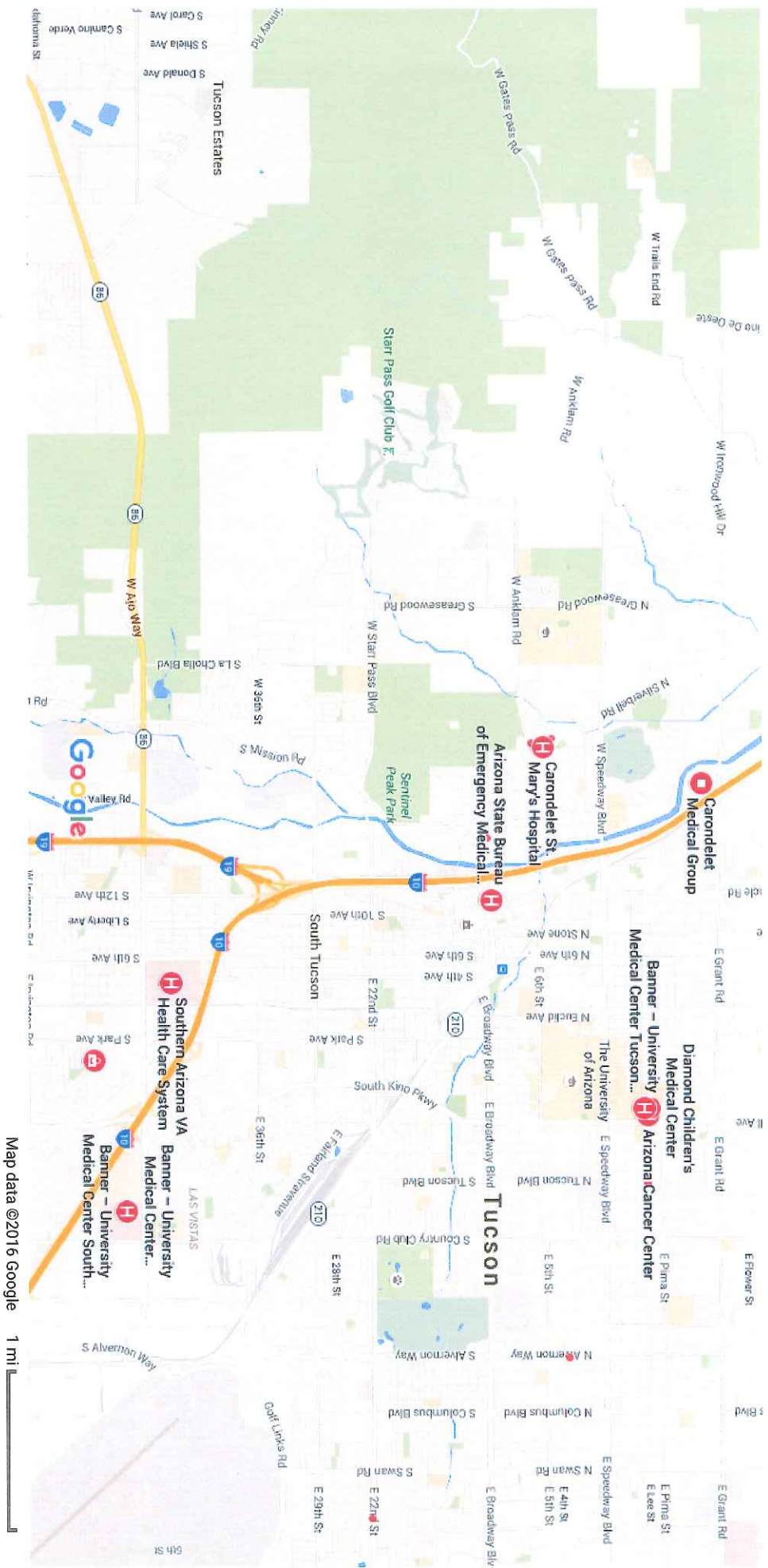


OPERATIONS DIVISION DOWNTOWN (ODD) SECTOR BOUNDARIES

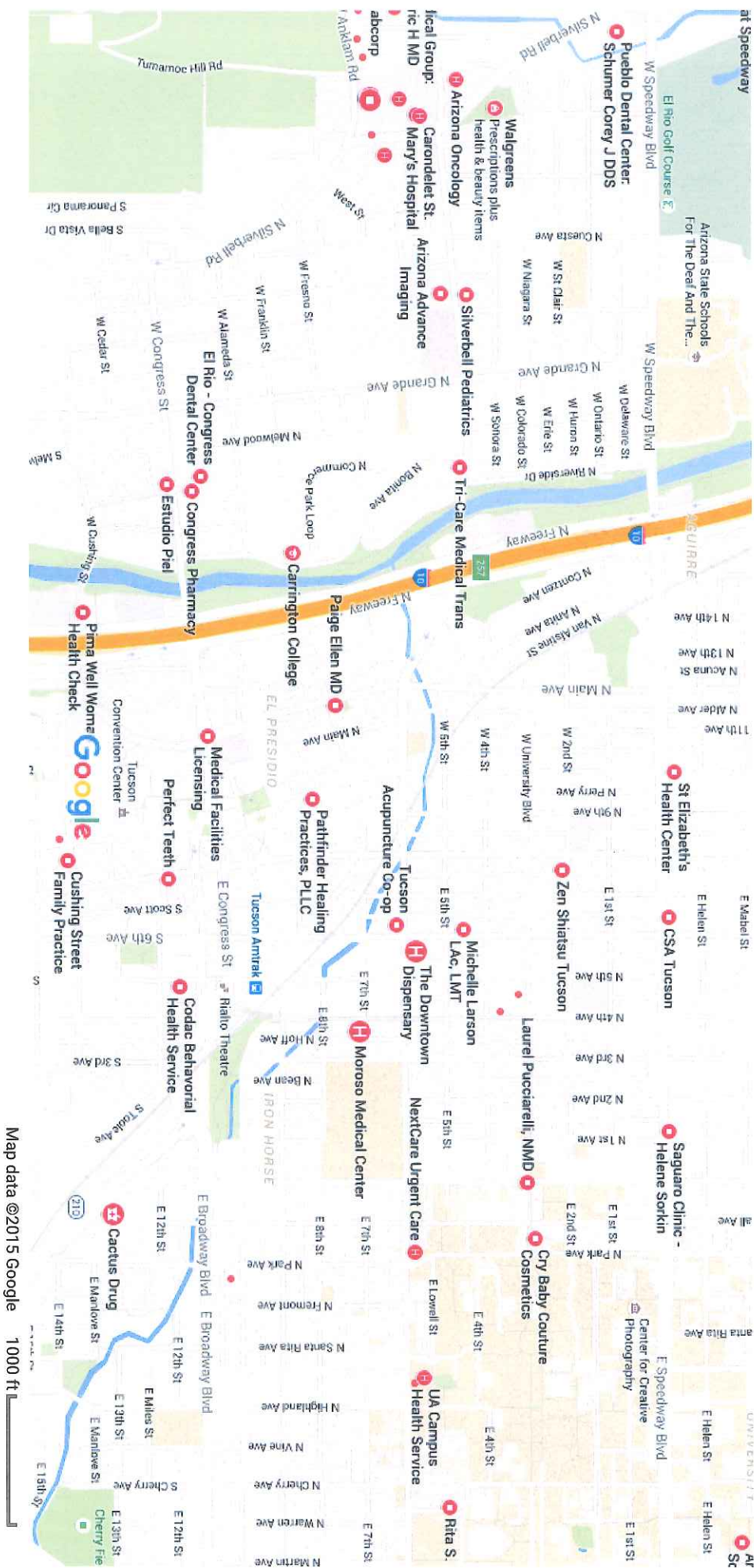


Research & Analysis
January 7, 2014

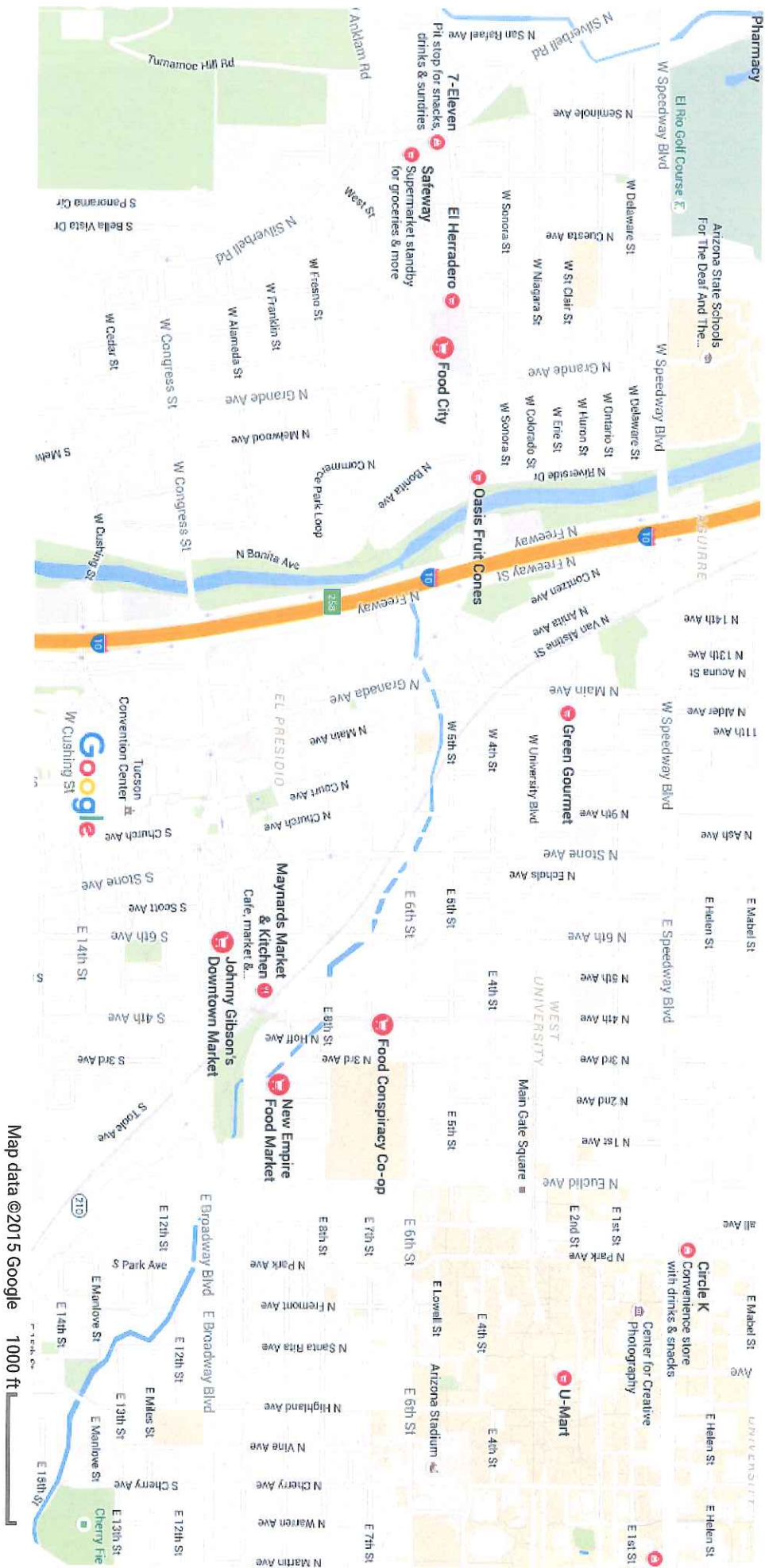




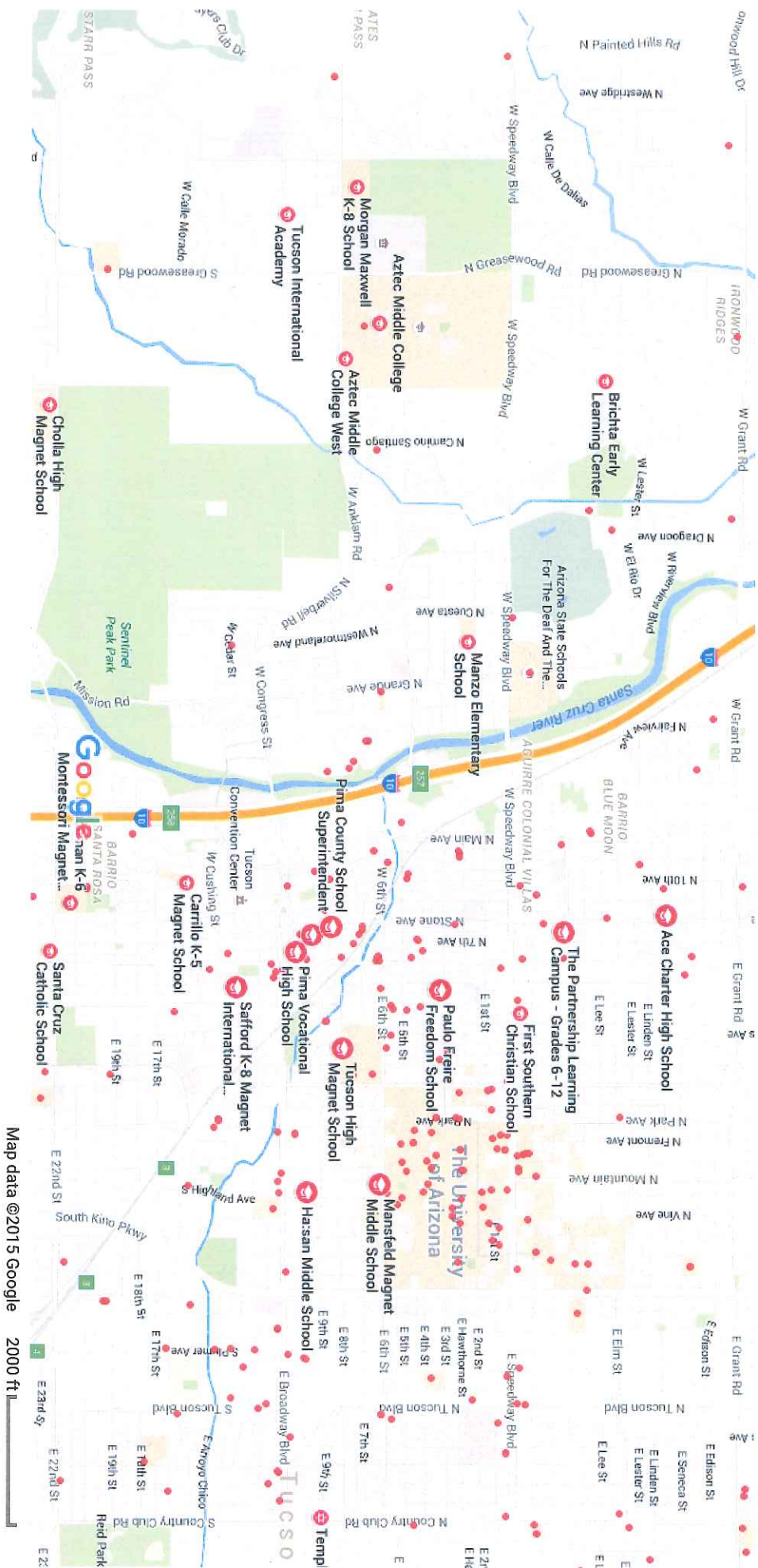
Google Maps medical



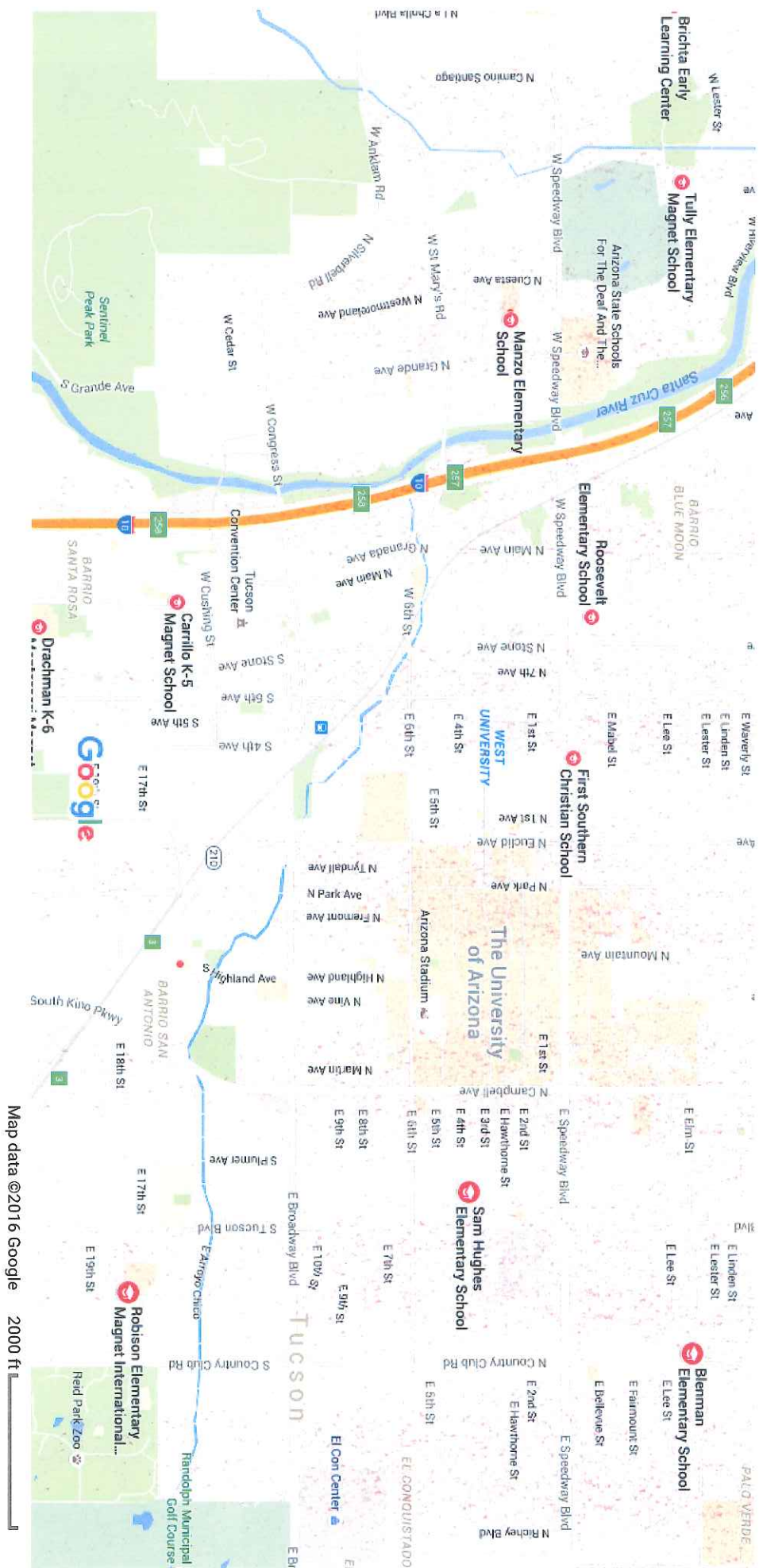
Google Maps grocery stores



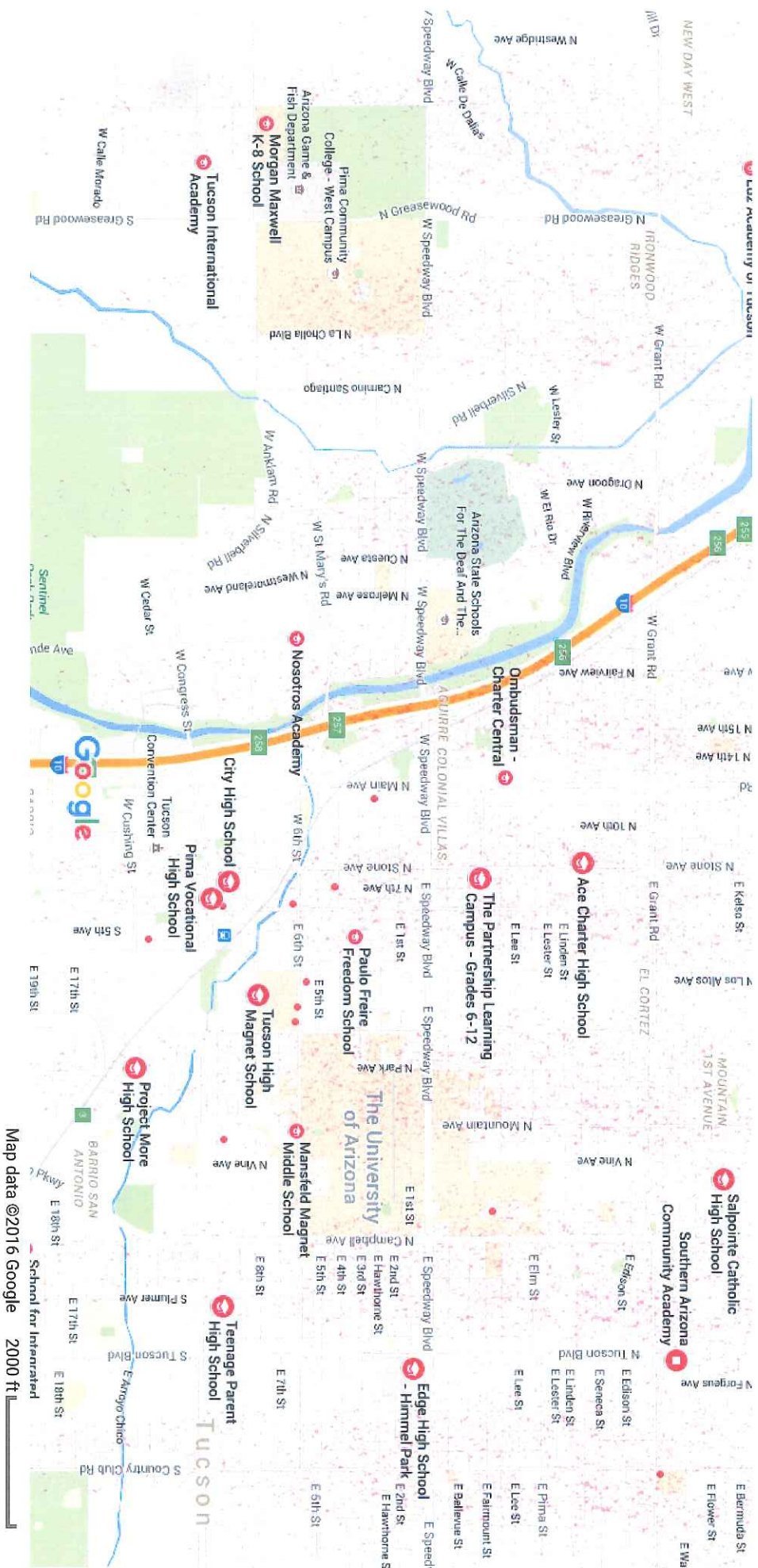
Google Maps schools



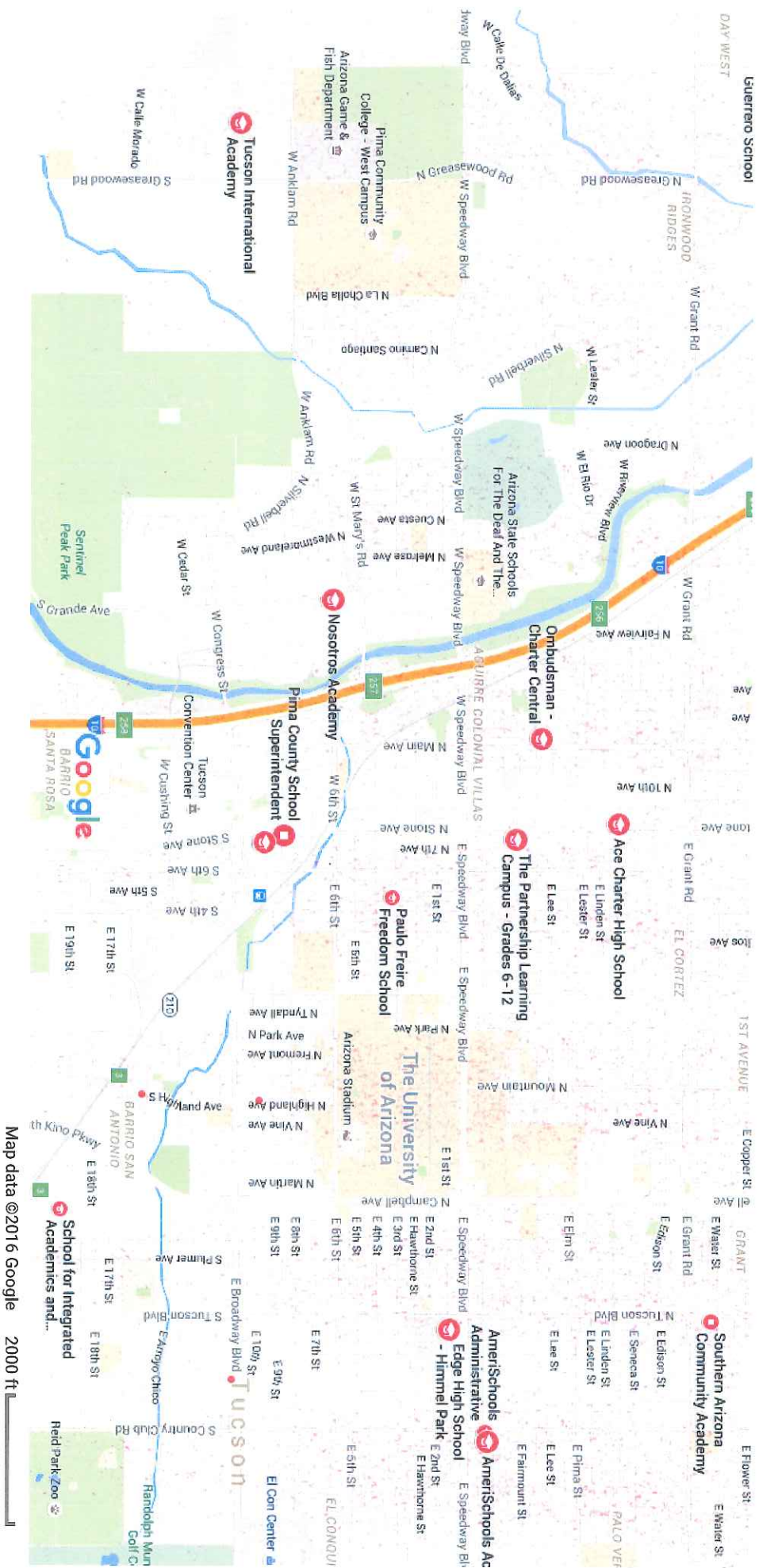
Google Maps elementary school



Google Maps high schools



Google Maps charter schools



Coronado National Forest

7000 East

1110 East

ON

4406 W. 7th Slinger No.

1

6200 W. / Messner Rd

Legend: Annex Areas

A KELLOND ANNEX

B DIETZ ANNEX

9400 W / Airplane Rd

B100 S. / Mertmans Rd

100

010453

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6

Legend: Elementary Schools

ES Bussed Areas

▲
K-2

► K-5



9
▼

8

Created: April 25, 2013
Source: TUSD Planning Services

TUCSON UNIFIED SCHOOL DISTRICT MIDDLE SCHOOLS ATTENDANCE BOUNDARIES

Cosmo National Forest

7200 North

130

7000 East
6400 North
6700 East

11100 East

Somerset Rd.

6200 N. / Mesquite Rd.

Grand Pass Rd.

9400 W. / Airplane Rd.

9100 S. / Hermans Rd.

4800 West / Snyder Rd.

River Rd.

Campbell Ave.

Copper St.

Mountain Ave.

Speedway Blvd.

Alvord Rd.

22nd St.

Robinson Rd.

Wilmot Rd.

22nd St.

Wilmot Rd.

22nd St.

Wilmot Rd.

22nd St.

Wilmot Rd.

22nd St.

10300 East / Houghton Rd.

5800 North

5400 North

5000 North

4600 North

4200 North

3800 North

3400 North

3000 North

2600 North

2200 North

1800 North

1400 North

1000 North

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TUCSON UNIFIED SCHOOL DISTRICT HIGH SCHOOLS ATTENDANCE BOUNDARIES

Coronado National Forest

7200 N.

8700 E.

8600 N.

10300 E. / Houghton Rd.

6200 W. / Measner Rd.

9400 W. / Airplane Rd.

8700 S. / Hermosa Rd.

11100 E. / Melpomene Way

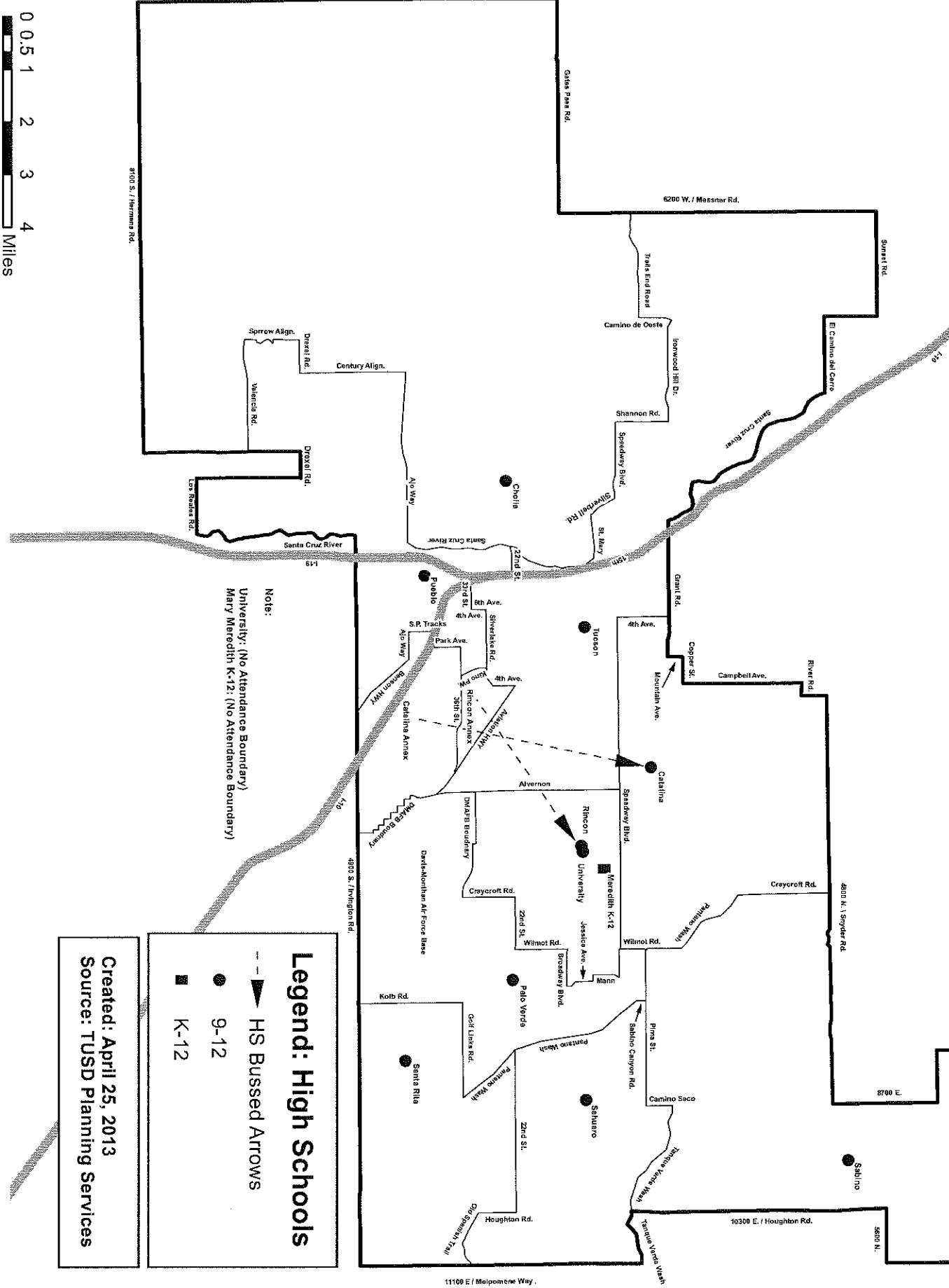


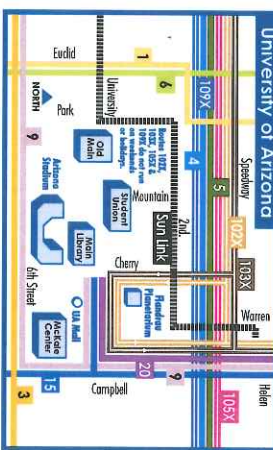
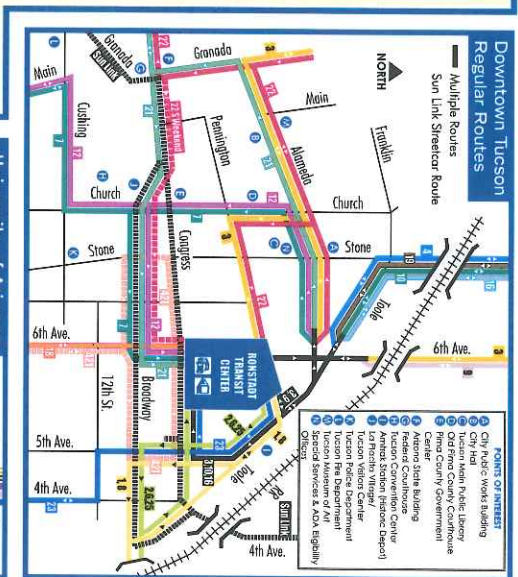
Note:
University: (No Attendance Boundary)
Mary Meredith K-12: (No Attendance Boundary)

Legend: High Schools

- HS Bussed Arrows
- 9-12
- K-12

Created: April 25, 2013
Source: TUSD Planning Services





 suntran
**SYSTEM-WIDE
TRANSIT MAP**
EFFECTIVE August 2015
**For schedule information or trip
planning, call (520) 792-9222
or visit suntran.com**



Streetcar Route
Ruta de Tranvía

Median Stop
Parada en Camellón

Curbside Stop
Parada al Bordo de la Acera

- Transfer to Sun Train**
Transfer to Sun Train

Transfer to Sun Shuttle
Transfer to Sun Shuttle

All Sun Link stops are 10 minutes
To take the transfer to Sun Link

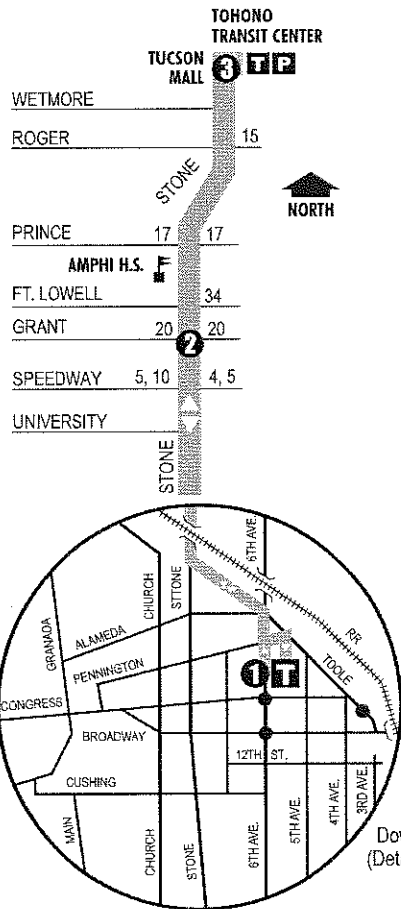
All Sun Link stops are ADA accessible
Todas las paradas de Sun Link son accesibles a discapacitados

Route

19

STONE

!



Tohono Tadaí Transit Center
 Funtasticks
 Tucson Mall
 Amphi High School
 Pima Community
 College (PCC)—Downtown (Centro)
 Downtown (Centro)
 Ronstadt Transit Center

- T** Ronstadt Transit Center (Centro de Tránsito)
 Connecting to/(Conexión a):
 Sun Tran — 1,2,3,4,6,7,8,9,10,12,16,18,21,22,23,25
 Sun Express — 102X AM, 103X, 105X, 107X,
 109X, 110X
 Sun Link streetcar
 Sun Shuttle — 421
 Cat Tran — USA Route
- T** Tohono Transit Center (Centro de Tránsito)
 Connecting to/(Conexión a):
 Sun Tran — 6,10,15,16,34,61
 Sun Express — 105X,312X
 Sun Shuttle — 412
- P** Park & Ride Lot (Estacione y Viaje)
 South of Tohono
 Tadaí Transit Center Stone/Wetmore
- SL** Sun Link Transfer Point
 (Puntos de Transbordo a Sun Link)
 ● Sun Link stops (paradas de Sun Link)

! See page 2 for details
 (Vea detalles en la página 3)

Route 19 M-F / Northbound

!

Route 19 M-F / Southbound

Downtown — Ronstadt Ctr.	Stone at Grant	Tohono Tadaí Transit Ctr.	Tohono Tadaí Transit Ctr.	Stone at Grant	Downtown — Ronstadt Ctr.
1	2	3	3	2	1
545	554	605	547	559	610
615	624	635	617	629	640
645	654	705	645	658	710
715	725	737	715	728	740
745	755	807	745	758	810
815	825	837	815	828	840
845	855	907	845	858	910
915	925	937	915	928	940
945	955	1007	945	958	1010
1015	1025	1037	1015	1028	1040
1045	1055	1107	1045	1058	1110
1115	1125	1137	1115	1128	1140
1145	1155	1207	1145	1158	1210
1215	1225	1237	1215	1228	1240
1245	1255	107	1245	1258	110
115	125	137	115	128	140
145	155	207	145	158	210
215	225	238	215	228	240
245	255	308	245	258	310
315	325	338	315	328	340
345	355	408	344	358	410
415	425	438	414	428	440
445	455	508	444	458	510
515	525	538	514	528	540
545	555	608	545	558	610
615	625	638	615	628	640
645	655	708	647	659	710
715	724	735	717	729	740
745	754	805	747	759	810
815	824	835	817	829	840
845	854	905	917	929	940
945	954	1005	1017	1029	1040
1045	1054	1105			

Route 19 SAT / Northbound

Route 19 SAT / Southbound

Downtown — Ronstadt Ctr. ①	Stone at Grant ②	Tohono Tadaí Transit Ctr. ③	Tohono Tadaí Transit Ctr. ③	Stone at Grant ②	Downtown — Ronstadt Ctr. ①
715	725	736	647	659	710
745	755	806	744	758	810
815	825	837	814	828	840
845	855	907	844	858	910
915	925	937	914	928	940
945	955	1007	942	956	1010
1015	1025	1037	1012	1026	1040
1045	1055	1107	1042	1056	1110
1115	1125	1137	1112	1126	1140
1145	1155	1207	1142	1156	1210
1215	1225	1237	1212	1226	1240
1245	1255	107	1242	1256	110
115	125	137	112	126	140
145	155	207	143	157	210
215	225	237	213	227	240
245	255	307	243	257	310
315	325	337	313	327	340
345	355	407	343	357	410
415	425	437	413	427	440
445	455	507	443	457	510
515	525	537	513	527	540
545	555	607	543	557	610
615	625	638	613	627	640
645	655	708	650	700	710
715	725	736	750	800	810
815	825	836	850	900	910
915	925	936			

19

Route 19 SUN / Northbound

Route 19 SUN / Southbound

①	②	③	③	②	①
645	654	704	717	730	740
745	754	804	817	830	840
845	854	904	917	930	940
945	954	1004	1017	1030	1040
1045	1054	1104	1117	1130	1140
1145	1154	1204	1217	1230	1240
1245	1254	104	117	130	140
145	154	204	217	230	240
245	254	304	317	330	340
345	354	404	417	430	440
445	454	504	517	530	540
545	554	604	617	630	640
645	654	704	717	730	740
745	754	804	817	830	840

January 11, 2016

Attn: Michael Gardner
Gardner Capital Development, LLC
800 Maryland Avenue, Suite 910
St. Louis, MO 63105

Re: Class I Cultural Resources Records Review
Site Name: 7th Avenue Commons
Tucson, Pima County, Arizona
Terracon Project No. 63157136

Dear Mr. Gardner:

At your request, Terracon Consultants, Inc. (Terracon) has completed a Cultural Resources Desktop Assessment for the above-referenced site. These services were completed per the scope of services outlined in Terracon proposal P63150316 dated October 6, 2015.

Project Location and Information

The site consists of four parcels: 117-04-214A (56 and 58 East 5th Street), 117-04-214B (529 North 7th Avenue), 117-04-214C (519 North 7th Avenue), and 117-04-2160 (546 North Stone Avenue). The parcels are in Tucson, Pima County, Arizona. The legal description is within the SE ¼ of the NW ¼ of Section 12 Township 14 South, Range 13 East (G&SRB&M), as depicted on the Tucson, Arizona 7.5-minute USGS topographic quadrangle. There are two existing structures on the parcels. One, a Quonset hut, is in the northeastern corner of parcel 117-04-214A; the other is the western half of the same parcel and extends south into the western portion of 117-04-214B. Current project plans are to demolish the building in the northeastern corner of parcel 117-04-214A, while the other structure will be retrofitted and incorporated into a new building.

Class I - Records Review

Note: Information about archaeological sites and historic properties is considered sensitive. Please do not disseminate this information.

A Class I inventory consisting of a records review and site file check was conducted by consulting AZSITE, the online database maintained by the Arizona State Museum (ASM); General Land Office (GLO) historic-period maps; historic-period USGS topographic maps; and the National Register of Historic Places (NRHP) website. These sources were consulted in order to identify previous cultural resources projects, known prehistoric or historic-period sites, and historic properties listed on or eligible for listing on the NRHP within 150 feet of the subject parcels.



The records search identified eight projects within 150 feet of the parcels property (Table 1). These cultural resources projects were done in conjunction with utility projects, road development, and residential development. Four of the surveys have covered portions of the parcel west of Echols Avenue (117-04-2160). No archaeological sites or cultural resources have been recorded with the parcels' boundaries. One archaeological site and three historic districts listed on the NRHP have been recorded within a 150-foot radius of the parcels (Table 2). The site, AZ FF:9:17(ASM), is historic State Route 80, which in this area is North Stone Avenue. The West University Historic District includes parcels on the north side of East 5th Street, due north of the subject parcels. The Tucson Warehouse Historic District includes parcels at the northeast corner of North Stone Avenue and East 6th Street, just south of the subject parcels. The John Spring Neighborhood Historic District includes parcels west of the subject parcels, on the west side of North Stone Avenue

The GLO plats for Township 14 South, Range 13 East (1877) show no cultural resources in the subject property, although Tucson is established to the south. The Map of the City of Tucson with Additions in the lower left corner of the Official Map of Pima County (Roskrige 1893) shows the area between 7th and 8th Avenues and 5th and 6th Streets as a block numbered "58". The 1957 Tucson, AZ 7.5-minute topographic map does not show cultural features or buildings in the subject parcels; 1971 and 1975 photorevisions of the same map also do not show any features or buildings. Public information from the Pima County Assessor indicates that the buildings on parcels 117-04-214A and 117-04-214B were built in 1946. Cultural resources at least 50 years old may be eligible for listing on the NRHP.

Table 1. Previous projects conducted within a 150 feet of the subject property.

Project Number	Performing Institution	Description
1998-37.ASM	Desert Archaeology, Inc.	Cherry Avenue Main Survey (Vint 1998)
1999-587.ASM	SWCA	PBNS Level 3 Fiber Optic Line (Doak 1999)
1999-99.ASM	Desert Archaeology, Inc.	University Blvd./6th Ave. Main Survey (unknown)
2000-284.ASM	Desert Archaeology, Inc.	Moratorium Streets Survey (Diehl 2000)
2000-723.ASM	Western Cultural Resource Management, Inc.	AT&T NexGen/Core Project Link 3 Class 3 Survey (unkown)
2003-506.ASM	Desert Archaeology, Inc.	Stone Ave - 6th to 1st Assessment (Diehl 2003)
2004-679.ASM	Western Cultural Resource Management, Inc.	AT&T NexGen/Core Project (Baker 2004)
2009-848.ASM	SWCATUS	COT 09-44 Downtown Links (Tucker 2010)

Table 2. Previously Recorded Archaeological Sites within 150 feet of the subject property

Site Number	Site Type, Cultural and Temporal Affiliation, and Location	NRHP Eligibility
AZ FF:9:17(ASM)	SR-80, historic period roadway (Lindeman et al. 2012), located west of and adjacent to the subject parcels.	Determined eligible by SHPO in 2009
NPS80004240	West University Historic District, located north of the subject parcels.	NR-Listed in 1980
NPS97000886	Tucson Warehouse Historic District, located approximately 60 feet south of the subject parcels.	NR-Listed in 1999
NPS88002131	John Spring Neighborhood Historic District, located approximately 135 feet west of the subject parcels.	NR-Listed in 1989

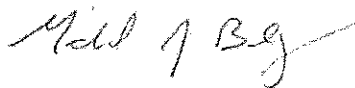
Conclusions

There are no known archaeological sites or historic properties that have been identified within the boundaries of the subject parcels but most of the parcels have never been subjected to a cultural resources inventory. One archaeological site and three historic districts are within a 150-foot radius of the subject parcels. AZ FF:9:17(ASM) is historic State Route 80. The three historic districts do not include any portions of the subject parcels. The existing buildings on parcels 117-04-214A and 117-04-214B were apparently built in 1946 and may be considered historic properties eligible for listing on the NRHP. Terracon understands, however, that SHPO recently visited the subject parcels and determined that the Quonset hut in the northeastern corner of parcel 117-04-214A is not eligible for inclusion on the NRHP because it has been moved from its original location. Arizona Revised Statute §41-865 provides protection for human remains and associated funerary objects older than 50 years that may be encountered on private lands.

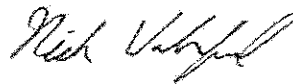
Terracon appreciates the opportunity to be of continued service to Gardner Capital Development, LLC. If you have any questions or comments pertaining to the material presented herein, please contact the undersigned at (480) 897-8200 or (480) 897-1133 (facsimile).

Sincerely,

Terracon



Michael J. Boley
Senior Archaeologist



Nicholas Wahnefried
Staff Archaeologist

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Biltform Architecture Group
Jim Applegate
11460 N Cave Creek Rd #6
Phoenix, Arizona 85020

May 23, 2016

Dear Mr. Applegate:

Re: **NOISE STUDY FOR THE 7th AVENUE COMMONS**

ACS has been retained to prepare a HUD Noise Study for the 7th Avenue Commons Apartments project located at 58 E 5th Street (Tucson, AZ).

To help achieve its national goal of "a decent home and suitable living environment for every American family," HUD is concerned with the projected future noise impact to the residential property. For the purpose of analysis, the *Noise Assessment Guidelines* require that you consider all military/civilian airports (with jet activity) within 15 miles of the project, all significant roads within 1000 feet and basically all railroads within 3000 feet.

HUD Regulations set forth the following exterior noise standards for new housing construction assisted or supported by the department:

65 Ldn* or less - **Acceptable**

Exceeding 65 Ldn but not exceeding 75 Ldn - **Normally Unacceptable** (To achieve an acceptable status, appropriate sound attenuation measures must be provided)

Exceeding 75 Ldn - **Unacceptable**

*Ldn - Day Night average sound level (DNL) is the 24-hour average sound level, in decibels, obtained after the addition of 10 decibels to the sound levels occurring between 10:00 pm and 7:00 am.

HUD's regulations do not contain standards for interior noise levels. Rather a goal of 45 decibels is set forth and the attenuation requirements are geared toward achieving that goal. It is assumed that with standard construction, any building will provide sufficient attenuation so that if the exterior level is 65 Ldn or less, the interior level will be 45 Ldn or less.

PROJECT ASSUMPTIONS:

ACS used the 2030 traffic projections provided by Pima Association of Governments (Pima) for this assessment. The following vehicle classification breakdown was used: 96% autos/light trucks; 2% medium trucks; 2% heavy trucks. The railroad information was provided by the US Department of Transportation. The Sun Link streetcar information was provided by the City of Tucson. The aircraft information was provided by each airport. (Note: Higher traffic levels will result in a higher potential noise impact.)

PREVIOUS REPORT:

ACS reviewed Terracon Consultants' Noise Survey Report. Their results were based only on current noise level measurements and not future modeling per the HUD guidelines and methodology.

The HUD guidelines and methodology are based on future (10-15 years) typical traffic (aircraft, roadway, and railroad) noise. Current measurements (particularly over only a couple days) are almost always inappropriate for HUD use, and are certainly not preferred:

"calculated noise levels are really much better (than measured noise levels) for implementing HUD's noise policy."

"One thing noise measurements should not be used for is to confirm or refute calculated noise levels."

"calculated noise levels are more useful for HUD needs than measured levels for two significant reasons: The first is that with noise measurements you have no good way to take into account future changes in the future environment... The second reason why we prefer that you calculate noise levels is that through the calculation process you can use monthly or yearly data to determine traffic levels. Thus you come up with a more typical picture of the conditions."

ACS has projected the future potential noise impact to this project based on the HUD guidelines and methodology.

CALCULATION RESULTS:

Railroad – The Union Pacific railroad is approximately 570' from the closest residential unit of this site. Additionally, ACS examined the potential noise impact from the Sun Links streetcar tracks to the east and to the south. The potential noise impact from rail activity is 69.3 Ldn. (See attached worksheets.)

Aircraft – ACS examined the potential noise impact created by the projected air traffic of Davis Monthan Air Force Base, Tucson International Airport, and Ryan Airfield. The noise created by the projected air traffic could impact this site by 55.1 Ldn. (See attached worksheets.)

Roadway - ACS examined the potential, future (2030) roadway noise impact from both Stone Avenue and 6th Street. The worst-case units could be impacted by as much as 66.7 Ldn. (See attached worksheets.)

Combined – The combined (roadway, railroad and aircraft) potential noise impact is 71.3 Ldn. Since this is a multi-story project, a barrier wall of reasonable height will not provide adequate noise reduction. To comply with HUD Acceptable Standards the exterior construction must reduce the total exterior noise level so that the interior noise level is ≤ 45 Ldn. (See *Interior Noise Level* section below.)

Interior Noise Level

The calculated potential exterior noise impact to the worst-case units is 71.3 Ldn. To comply with HUD's interior standards (≤ 45 Ldn), the exterior construction of these buildings would need to provide a Noise Level Reduction (NLR) 27 or higher.

The Noise Level Reduction was calculated using the transmission loss values of the various elements of the project's construction. These values were weighted based on the percentage of surface area each element comprises of this plan. ACS has been informed that dual-pane windows will be used for this project, but the exact manufacturer and models have not yet been selected. Typical dual-pane windows are rated STC 28-33. To be conservative, ACS used an isolation rating of STC 28 for these calculations:

Elevation	NLR
South	32.4
North	33.1
East	33.8
West	32.8

In all cases, the Noise Level reduction exceeded the required NLR 27 by a "clearly noticeable" amount. This allows compliance with HUD "Acceptable" interior standards.

COMMENTS/RECOMMENDATIONS:

- 1) To comply with HUD's interior standards (≤ 45 Ldn), the exterior construction of this building would need to provide a Noise Level Reduction (NLR) 27 or higher. In all cases, the Noise Level reduction exceeded the requirement by at least 5 decibels. A 5 decibel improvement is classified as "clearly noticeable". This easily allows compliance with HUD "Acceptable" interior standards.
- 2) NOTE: The noise projections contained within this report are based on "typical", future traffic sources (as required by the HUD methodology). ACS is unaware of any other noise sources (aside from those listed above) that might impact this project. If you are aware of any other potential noise sources, please contact ACS for further analysis.

Please let me know if you have any questions or need additional information.

Respectfully,



Tony Sola
Acoustical Consulting Services

**Worksheet A
Site Evaluation**

Noise Assessment Guidelines

Site Location
58 E 5th Street

Program

Project Name

7th Ave Commons

Locality

Tucson, AZ

File Number

Sponsor's Name

Gardner Capital Development, LLC

Phone

314-561-5900

Street Address

8000 Maryland Ave, Suite 910

City, State

Clayton, MO 63105

	Acceptability Category	DNL	Predicted for Operations in Year
1. Roadway Noise		66.7	2030
2. Aircraft Noise		55.1	
3. Railway Noise		69.3	
Value of DNL for all noise sources:		71.3	

Final Site Evaluation (Circle One)

Acceptable

Normally Unacceptable - Will be acceptable with additional "noise attenuation measures" (See Figure 19)

Unacceptable

Signature

Tony Sala

Date 5/23/16

Clip this worksheet to the top of a package containing Worksheets B-E and Workcharts 1-7 that are used in the site evaluations.

Worksheet B Aircraft Noise

Noise Assessment Guidelines

List all airports within 15 miles of the site:

1. Davis Monthan Air Force Base
2. Tucson International Airport
3. Ryan Airfield
4. _____

Necessary information:

	Airport 1	Airport 2	Airport 3	Airport 4
1. Are DNL, NEF, or CNR contours available? (yes/no)	<u>Yes</u>	<u>Yes</u>	<u>Yes</u>	_____
2. Any Supersonic aircraft operations? (yes/no)	<u>Maybe</u>	<u>No</u>	<u>No</u>	_____
3. Estimating approximate contours from Figure 3:				
a. Number of nighttime jet operations	_____	_____	_____	_____
b. Number of daytime jet operations	_____	_____	_____	_____
c. Effective number of operations (10 times a + b)	_____	_____	_____	_____
d. Distance A for 65 dB	_____	_____	_____	_____
70 dB	_____	_____	_____	_____
75dB	_____	_____	_____	_____
e. Distance B for 65 dB	_____	_____	_____	_____
70 dB	_____	_____	_____	_____
75dB	_____	_____	_____	_____
4. Estimating DNL from Table 2:				
a. Distance from 65 dB contour to flight path, D ¹	<u>1.8 Mi</u>	<u>1.25 Mi</u>	<u>0.5 Mi</u>	_____
b. Distance from NAL to flight path, D ²	<u>6.5 Mi</u>	<u>8.1 Mi</u>	<u>13.5 Mi</u>	_____
c. D ² divided by D ¹	_____	_____	_____	_____
d. DNL	<u>53.8</u>	<u>48.8</u>	<u>36.4</u>	_____
5. Operations projected for what year?	_____	_____	_____	_____
6. Total DNL from all airports	_____	<u>55.1</u>	_____	_____

Signature

Tony Sala

Date 5/23/16

Worksheet C Roadway Noise

Page 1

Noise Assessment Guidelines

List all major roads within 1000 feet of the site:

Road # 1 Name:

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="250"/>	<input type="text" value="250"/>	<input type="text" value="250"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="30"/>	<input type="text" value="30"/>	<input type="text" value="30"/>
Average Daily Trips (ADT)	<input type="text" value="42683"/>	<input type="text" value="889"/>	<input type="text" value="889"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)			<input type="text" value="0"/>
Vehicle DNL	58.8	42	62.3
Calculate Road #1 DNL	<input type="text" value="64"/>	Reset	

Road # 2 Name:

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="270"/>	<input type="text" value="270"/>	<input type="text" value="270"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="30"/>	<input type="text" value="30"/>	<input type="text" value="30"/>
Average Daily Trips (ADT)	<input type="text" value="40842"/>	<input type="text" value="851"/>	<input type="text" value="851"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)			<input type="text" value="0"/>
Vehicle DNL	58.1	41.3	61.6
Calculate Road #2 DNL	<input type="text" value="63.3"/>	Reset	

Signature

Tony Soler

Date

5/23/16

Worksheet D Railway Noise

List all railways within 3000 feet of the site:

Railroad #1 Track Identifier: Union Pacific		
Rail #1		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance	570	
Average Train Speed	30	
Engines per Train	1	
Railway Cars per Train	80	
Average Train Operations (ATO)	42	
Night Fraction of ATO	15	
Railway Whistles or Horns?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Sorted Tracks?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL	66.3	
Calculate Rail #1 DNL	66.3	Reset

Railroad #2 Track Identifier: Sun Link		
Rail #2		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance	1557	
Average Train Speed	30	
Engines per Train	1	
Railway Cars per Train	3	
Average Train Operations (ATO)	242	
Night Fraction of ATO	5	
Railway Whistles or Horns?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Sorted Tracks?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Train DNL	43.5	
Calculate Rail #2 DNL	43.5	Reset

Railroad #3 Track Identifier: Sun Link		
Rail #3		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance	2453	
Average Train Speed	30	
Engines per Train	1	
Railway Cars per Train	3	
Average Train Operations (ATO)	242	
Night Fraction of ATO	5	
Railway Whistles or Horns?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Sorted Tracks?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Train DNL	40.9	
Calculate Rail #3 DNL	40.9	Reset

Signature

Tony Soler

Date

5/23/16

Figure 19
Description of Noise Attenuation Measures
(Acoustic Construction)

Noise Assessment Guidelines

Part 1

Project Name 7th Avenue Commons

Location Tucson, AZ

Sponsor/Developer Gardner Capital Development, LLC

Noise Level (From NAG) 71.3 Attenuation Required 27

Primary Noise Source(s) Union Pacific Railroad

Part II

1. For wall(s) facing and parallel to the noise source(s) (or closest to parallel):

a. Description of wall construction Stucco wall (or better)

b. STC rating for wall (rated for no windows or doors): 46 minimum

c. Description of windows: Dual Pane and Sliding Glass Doors

d. STC rating for window type 28 - 34 (the minimum rating of 28 was used)

e. Description of doors French

f. STC rating for doors 26

g. Percentage of wall (per wall, per dwelling unit) composed of
Windows 35.2% and doors 0%

h. Combined STC rating for wall component 32.4

2. For walls perpendicular to noise source(s):

a. Description of wall construction (Same As Above)

b. STC rating for wall (rated for no windows or doors): 46

c. Description of windows: (Same As Above)

d. STC rating for window type 28

e. Description of doors (Same As Above)

f. STC rating for doors _____

g. Percentage of wall (per wall, per dwelling unit) composed of
Windows 15.8% and doors 9.9% _____

h. Combined STC rating for wall component 32.8 _____

3. Roofing component (if overhead attenuation is required due to aircraft noise):

a. Description of roof construction N/A _____

b. STC rating (rated as if no skylights or other openings): _____

c. Description of skylights or overhead windows: _____

d. STC rating for skylights or overhead windows _____

e. Percentage of roof composed of skylights or windows (per dwelling unit) _____

f. Percentage of roof composed of large uncapped openings such as chimneys _____

g. Combined STC rating for roof component _____

4. Description of type of mechanical ventilation provided N/A _____

Prepared By: Tony Soler

Date: 5/23/16

**Worksheet A
Site Evaluation**

Noise Assessment Guidelines

Site Location
58 E 5th Street

Program

Project Name

7th Ave Commons

Locality

Tucson, AZ

File Number

Sponsor's Name

Phone

Gardner Capital Development, LLC

314-561-5900

Street Address

City, State

8000 Maryland Ave, Suite 910

Clayton, MO 63105

	Acceptability Category	DNL	Predicted for Operations in Year
1. Roadway Noise		66.7	2030
2. Aircraft Noise		55.1	
3. Railway Noise		69.3	

Value of DNL for all noise sources: 71.3

Final Site Evaluation (Circle One)

Acceptable

Normally Unacceptable - Will be acceptable with additional "noise attenuation measures" (See Figure 19)

Unacceptable

Signature

Tony Sala

Date 5/23/16

Clip this worksheet to the top of a package containing Worksheets B-E and Workcharts 1-7 that are used in the site evaluations.

Worksheet B Aircraft Noise

Noise Assessment Guidelines

List all airports within 15 miles of the site:

1. Davis Monthan Air Force Base
2. Tucson International Airport
3. Ryan Airfield
4. _____

Necessary information:

	Airport 1	Airport 2	Airport 3	Airport 4
1. Are DNL, NEF, or CNR contours available? (yes/no)	<u>Yes</u>	<u>Yes</u>	<u>Yes</u>	_____
2. Any Supersonic aircraft operations? (yes/no)	<u>Maybe</u>	<u>No</u>	<u>No</u>	_____
3. Estimating approximate contours from Figure 3:				
a. Number of nighttime jet operations	_____	_____	_____	_____
b. Number of daytime jet operations	_____	_____	_____	_____
c. Effective number of operations (10 times a + b)	_____	_____	_____	_____
d. Distance A for 65 dB	_____	_____	_____	_____
70 dB	_____	_____	_____	_____
75dB	_____	_____	_____	_____
e. Distance B for 65 dB	_____	_____	_____	_____
70 dB	_____	_____	_____	_____
75dB	_____	_____	_____	_____
4. Estimating DNL from Table 2:				
a. Distance from 65 dB contour to flight path, D ¹	<u>1.8 Mi</u>	<u>1.25 Mi</u>	<u>0.5 Mi</u>	_____
b. Distance from NAL to flight path, D ²	<u>6.5 Mi</u>	<u>8.1 Mi</u>	<u>13.5 Mi</u>	_____
c. D ² divided by D ¹	_____	_____	_____	_____
d. DNL	<u>53.8</u>	<u>48.8</u>	<u>36.4</u>	_____
5. Operations projected for what year?	_____	_____	_____	_____
6. Total DNL from all airports	_____	<u>55.1</u>	_____	_____

Signature

Tony Sala

Date 5/23/16

Worksheet C Roadway Noise

Page 1

Noise Assessment Guidelines

List all major roads within 1000 feet of the site:

Road # 1 Name:

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="250"/>	<input type="text" value="250"/>	<input type="text" value="250"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="30"/>	<input type="text" value="30"/>	<input type="text" value="30"/>
Average Daily Trips (ADT)	<input type="text" value="42683"/>	<input type="text" value="889"/>	<input type="text" value="889"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)			<input type="text" value="0"/>
Vehicle DNL	58.8	42	62.3
Calculate Road #1 DNL	<input type="text" value="64"/>	<input type="button" value="Reset"/>	

Road # 2 Name:

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="270"/>	<input type="text" value="270"/>	<input type="text" value="270"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="30"/>	<input type="text" value="30"/>	<input type="text" value="30"/>
Average Daily Trips (ADT)	<input type="text" value="40842"/>	<input type="text" value="651"/>	<input type="text" value="851"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)			<input type="text" value="0"/>
Vehicle DNL	58.1	41.3	61.6
Calculate Road #2 DNL	<input type="text" value="63.3"/>	<input type="button" value="Reset"/>	

Signature

Tony Solis

29

77

Date

5/23/16

Worksheet D Railway Noise

Page 1

Noise Assessment Guidelines

List all railways within 3000 feet of the site:

Railroad #1 Track Identifier: Union Pacific		
Rail #1		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance	570	
Average Train Speed	50	
Engines per Train	1	
Railway cars per Train	50	
Average Train Operations (ATO)	43	
Night Fraction of ATO	15	
Railway whistles or horns?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Sorted Tracks?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Train DNL	55.2	
Calculate Rail #1 DNL	55.2	Reset

Railroad #2 Track Identifier: Sun Link		
Rail #2		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance	1557	
Average Train Speed	30	
Engines per Train	1	
Railway cars per Train	1	
Average Train Operations (ATO)	142	
Night Fraction of ATO	5	
Railway whistles or horns?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Sorted Tracks?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Train DNL	43.8	
Calculate Rail #2 DNL	43.8	Reset

Railroad #3 Track Identifier: Sun Link		
Rail #3		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance	1453	
Average Train Speed	30	
Engines per Train	1	
Railway cars per Train	1	
Average Train Operations (ATO)	142	
Night Fraction of ATO	5	
Railway whistles or horns?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Sorted Tracks?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Train DNL	40.8	
Calculate Rail #3 DNL	40.8	Reset

Tony Gale

Signature

31

79

Date

5/23/16

Figure 19
Description of Noise Attenuation Measures
(Acoustic Construction)

Noise Assessment Guidelines

Part 1

Project Name 7th Avenue Commons

Location Tucson, AZ

Sponsor/Developer Gardner Capital Development, LLC

Noise Level (From NAG) 71.3 Attenuation Required 27

Primary Noise Source(s) Union Pacific Railroad

Part II

1. For wall(s) facing and parallel to the noise source(s) (or closest to parallel):

- a. Description of wall construction Stucco wall (or better)
- b. STC rating for wall (rated for no windows or doors): 46 minimum
- c. Description of windows: Dual Pane and Sliding Glass Doors
- d. STC rating for window type 28 - 34 (the minimum rating of 28 was used)
- e. Description of doors French
- f. STC rating for doors 26
- g. Percentage of wall (per wall, per dwelling unit) composed of
Windows 35.2% and doors 0%
- h. Combined STC rating for wall component 32.4

2. For walls perpendicular to noise source(s):

- a. Description of wall construction (Same As Above)
- b. STC rating for wall (rated for no windows or doors): 46
- c. Description of windows: (Same As Above)
- d. STC rating for window type 28
- e. Description of doors (Same As Above)

f. STC rating for doors _____

g. Percentage of wall (per wall, per dwelling unit) composed of
Windows 15.8% and doors 9.9%

h. Combined STC rating for wall component 32.8

3. Roofing component (if overhead attenuation is required due to aircraft noise):

a. Description of roof construction N/A

b. STC rating (rated as if no skylights or other openings): _____

c. Description of skylights or overhead windows: _____

d. STC rating for skylights or overhead windows _____

e. Percentage of roof composed of skylights or windows (per dwelling unit) _____

f. Percentage of roof composed of large uncapped openings such as chimneys _____

g. Combined STC rating for roof component _____

4. Description of type of mechanical ventilation provided N/A

Prepared By: Tony Sala

Date: 5/23/16



May 24, 2016

Glenn Fournie, Project Coordinator
Housing & Community Development
City of Tucson
310 North Commerce Park Loop
Tucson, Arizona 85745

Re: 7th Avenue Commons/Affordable Housing Community
HUD Environmental Assessment

Mr. Fournie:

Biltform Architecture Group, Inc. is the Project Architect for the 7th Avenue Commons affordable housing community.

We have reviewed the Noise Study and HUD Noise Worksheets prepared by Acoustical Consulting Services, dated May 23, 2016 (together referred to in this letter as the "ACS Noise Study").

As Project Architect, we will assure that the plans for the project include the recommendations in the ACS Noise Study, including, specifically (and without limitation):

1. **Windows.** Dual-pane windows that are rated STC 28-33 (or higher), with an isolation rating of STC 28 (or higher).
2. **Exterior Wall Systems.** To comply with HUD's interior standards (< 45 Ldn), the exterior construction of this building would need to provide a Noise Level Reduction (NLR) 27 or higher. Stucco wall (or better). STC rating for wall (rated for no windows or doors): 46 minimum. Percentage of wall (per wall, per dwelling unit) composed of Windows 35.2%. Combined STC rating for wall component 32.4.
3. **For walls perpendicular to noise source(s).** Same as above for Exterior Wall Systems, plus: Percentage of wall (per wall, per dwelling unit) composed of Windows 15.8% and doors 9.9%. Combined STC rating for wall component 32.8.
4. **Studs.** The minimum STC rating of 46 for the wall assembly assumes 2x4 studs, and 2x4 studs will be used in the project. Note that sound transmits through the weak-points. The windows are rated STC 28; the wall STC 46. Virtually all of the noise will transmit through the windows. Improving the isolation quality of the wall will not improve the composite isolation rating of the assembly.

biltform architecture group of companies

11460 n. cave creek road . suite 11 . phoenix arizona 85020
T: 602.285.9200 F: 602.285.9229

5. **Insulation.** Insulation provides a noticeable improvement in the isolation quality of the wall assembly. Virtually all insulation options provide the same improvement. Typical batt insulation will be acceptable and will be included in the plans.

Please do not hesitate to contact me directly, if you have any questions.

Thank you,



Dennis J. Applegate, Principal
biltform architecture group of companies

Enclosure

cc: Reid Butler, Butler Housing Company, Inc.
Scot Puffer, Gardner Capital Development Arizona, LLC
Tony Sola, Acoustical Consulting Services
Tony McCardell, Terracon

biltform architecture group of companies

11460 n. cave creek road . suite 11 . phoenix . arizona . 85020
T: 602.285.9200 F: 602.285.9229



Biltform Architecture Group
Jim Applegate
11460 N Cave Creek Rd #6
Phoenix, Arizona 85020

May 23, 2016

Dear Mr. Applegate:

Re: **NOISE STUDY FOR THE 7th AVENUE COMMONS**

ACS has been retained to prepare a HUD Noise Study for the 7th Avenue Commons Apartments project located at 58 E 5th Street (Tucson, AZ).

To help achieve its national goal of "a decent home and suitable living environment for every American family," HUD is concerned with the projected future noise impact to the residential property. For the purpose of analysis, the *Noise Assessment Guidelines* require that you consider all military/civilian airports (with jet activity) within 15 miles of the project, all significant roads within 1000 feet and basically all railroads within 3000 feet.

HUD Regulations set forth the following exterior noise standards for new housing construction assisted or supported by the department:

65 Ldn* or less - **Acceptable**

Exceeding 65 Ldn but not exceeding 75 Ldn - **Normally Unacceptable** (To achieve an acceptable status, appropriate sound attenuation measures must be provided)

Exceeding 75 Ldn - **Unacceptable**

*Ldn - Day Night average sound level (DNL) is the 24-hour average sound level, in decibels, obtained after the addition of 10 decibels to the sound levels occurring between 10:00 pm and 7:00 am.

HUD's regulations do not contain standards for interior noise levels. Rather a goal of 45 decibels is set forth and the attenuation requirements are geared toward achieving that goal. It is assumed that with standard construction, any building will provide sufficient attenuation so that if the exterior level is 65 Ldn or less, the interior level will be 45 Ldn or less.

PROJECT ASSUMPTIONS:

ACS used the 2030 traffic projections provided by Pima Association of Governments (Pima) for this assessment. The following vehicle classification breakdown was used: 96% autos/light trucks; 2% medium trucks; 2% heavy trucks. The railroad information was provided by the US Department of Transportation. The Sun Link streetcar information was provided by the City of Tucson. The aircraft information was provided by each airport. (Note: Higher traffic levels will result in a higher potential noise impact.)

PREVIOUS REPORT:

ACS reviewed Terracon Consultants' Noise Survey Report. Their results were based only on current noise level measurements and not future modeling per the HUD guidelines and methodology.

The HUD guidelines and methodology are based on future (10-15 years) typical traffic (aircraft, roadway, and railroad) noise. Current measurements (particularly over only a couple days) are almost always inappropriate for HUD use, and are certainly not preferred:

"calculated noise levels are really much better (than measured noise levels) for implementing HUD's noise policy."

"One thing noise measurements should not be used for is to confirm or refute calculated noise levels."

"calculated noise levels are more useful for HUD needs than measured levels for two significant reasons: The first is that with noise measurements you have no good way to take into account future changes in the future environment... The second reason why we prefer that you calculate noise levels is that through the calculation process you can use monthly or yearly data to determine traffic levels. Thus you come up with a more typical picture of the conditions."

ACS has projected the future potential noise impact to this project based on the HUD guidelines and methodology.

CALCULATION RESULTS:

Railroad – The Union Pacific railroad is approximately 570' from the closest residential unit of this site. Additionally, ACS examined the potential noise impact from the Sun Links streetcar tracks to the east and to the south. The potential noise impact from rail activity is 69.3 Ldn. (See attached worksheets.)

Aircraft – ACS examined the potential noise impact created by the projected air traffic of Davis Monthan Air Force Base, Tucson International Airport, and Ryan Airfield. The noise created by the projected air traffic could impact this site by 55.1 Ldn. (See attached worksheets.)

Roadway - ACS examined the potential, future (2030) roadway noise impact from both Stone Avenue and 6th Street. The worst-case units could be impacted by as much as 66.7 Ldn. (See attached worksheets.)

Combined – The combined (roadway, railroad and aircraft) potential noise impact is 71.3 Ldn. Since this is a multi-story project, a barrier wall of reasonable height will not provide adequate noise reduction. To comply with HUD Acceptable Standards the exterior construction must reduce the total exterior noise level so that the interior noise level is ≤ 45 Ldn. (See *Interior Noise Level* section below.)

Interior Noise Level

The calculated potential exterior noise impact to the worst-case units is 71.3 Ldn. To comply with HUD's interior standards (≤ 45 Ldn), the exterior construction of these buildings would need to provide a Noise Level Reduction (NLR) 27 or higher.

The Noise Level Reduction was calculated using the transmission loss values of the various elements of the project's construction. These values were weighted based on the percentage of surface area each element comprises of this plan. ACS has been informed that dual-pane windows will be used for this project, but the exact manufacturer and models have not yet been selected. Typical dual-pane window are rated STC 28-33. To be conservative, ACS used an isolation rating of STC 28 for these calculations:

Elevation	NLR
South	32.4
North	33.1
East	33.8
West	32.8

In all cases, the Noise Level reduction exceeded the required NLR 27 by a "clearly noticeable" amount. This allows compliance with HUD "Acceptable" interior standards.

COMMENTS/RECOMMENDATIONS:

- 1) To comply with HUD's interior standards (≤ 45 Ldn), the exterior construction of this building would need to provide a Noise Level Reduction (NLR) 27 or higher. In all cases, the Noise Level reduction exceeded the requirement by at least 5 decibels. A 5 decibel improvement is classified as "clearly noticeable". This easily allows compliance with HUD "Acceptable" interior standards.
- 2) NOTE: The noise projections contained within this report are based on "typical", future traffic sources (as required by the HUD methodology). ACS is unaware of any other noise sources (aside from those listed above) that might impact this project. If you are aware of any other potential noise sources, please contact ACS for further analysis.

Please let me know if you have any questions or need additional information.

Respectfully,



Tony Sola
Acoustical Consulting Services

Downtown Link Project Update

October 2008

Downtown **L** **N** **K** **S**

RTA
Regional Transportation Authority



HDR

Downtown Links Corridor Alignment

Approved by Mayor and Council in 2008

City of
Tucson
RTA HDR

Phase 3:
6th Street Underpass

Phase 2:
St. Mary's Road

Phase 1:
8th Street Drainage

Phase 3:
Madvio Barraza Parkway

LEGEND

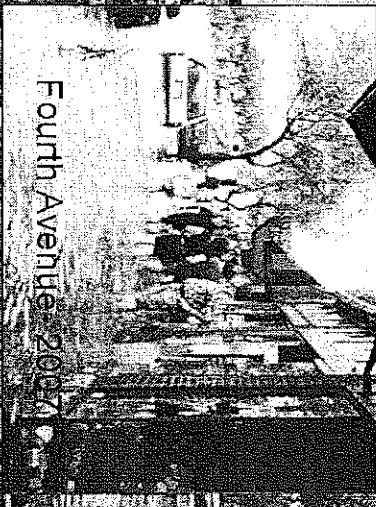
- Proposed Design
 - Proposed Right-of-Way
 - Proposed Drainage Easement
 - Temporary Construction Easement
 - Rebuilding Photo Location
 - Signalized Intersection
- 1" = 100'

Downtown **LINKS**

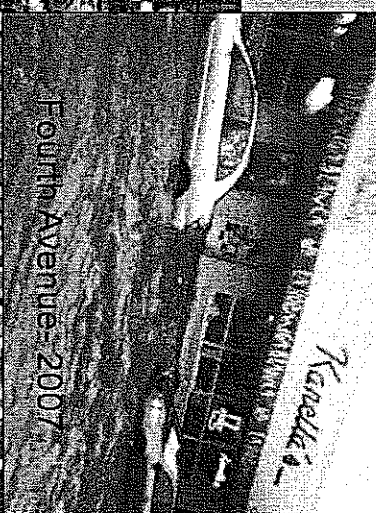
INTERSTATE 10 TO BROADWAY BLVD

APRIL 2015: 100% Design for Illustrative Purposes Only

Current FEMA Floodplain



Fourth Avenue-2007



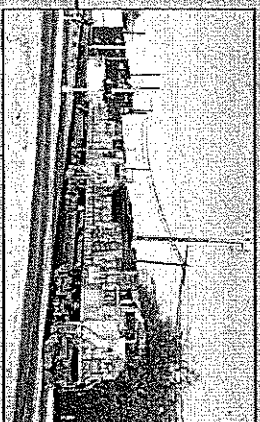
Fourth Avenue-2007



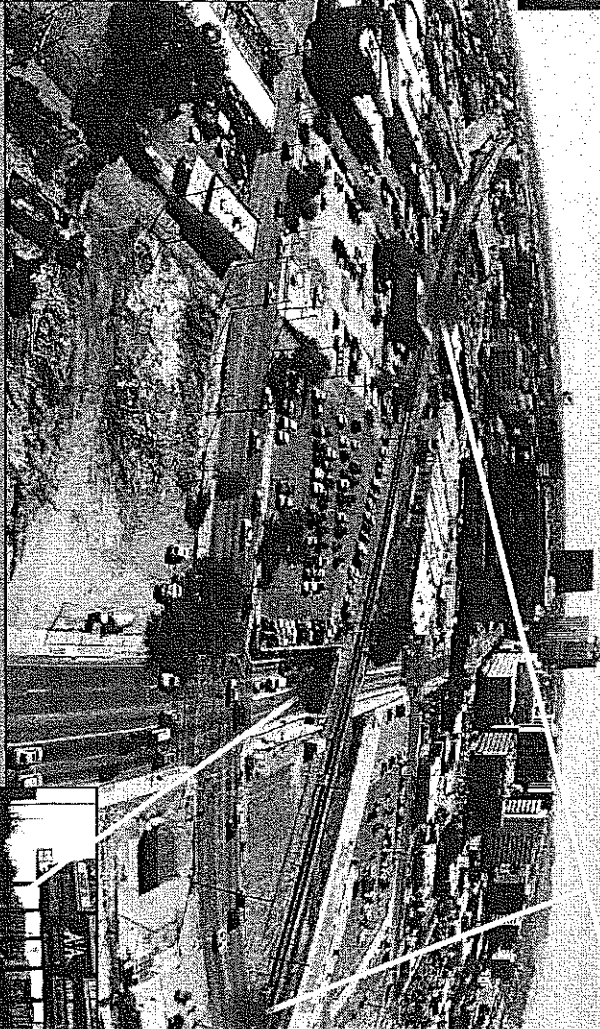
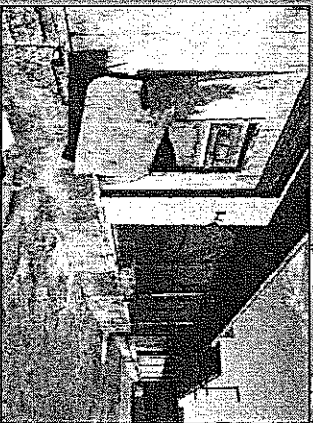
Upstream Detention Basins

Ongoing Issues

Traffic congestion / 45-50 trains each day
delays & fatalities



Industrial zone /
soil contamination



Flooding &
emergencies



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Project Goals

More than just a road project...

Improve Multimodal Capacity, Connectivity, and Safety

- new roadway improvements will include bikes, sidewalks, and no free way design
- all crossing improvements (6 locations for all modes) will establish a Quiet Zone

Improve the Drainage System to Reduce Flooding

- Remove project area from FEMA flood plain (to help with revitalization of properties)

Improve the Image of the Corridor

- native Sonoran desert landscaping
- environmental clean-up of industrial properties
- installation of public art

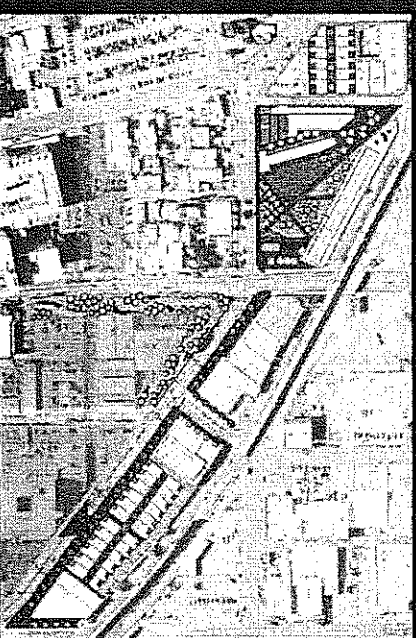
Encourage Good Land Use Redevelopment

- Historic preservation and revitalization adjacent to project
- Steinfield Citizens, Toole Ave. warehouses preserved
- Creation of an Infill Incentive District (IID)



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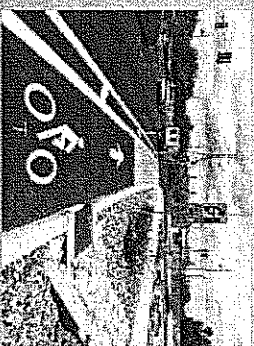
TUCSON HISTORIC WAREHOUSE ARTS DISTRICT MASTER PLAN
REDACTED WAREHOUSE ARTS DISTRICT
MASTER PLAN AND LAND USE PLAN

Project Scope

Scope for Design (HDR Inc. and consultant team)

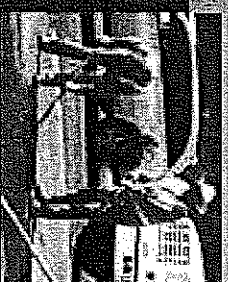
The project is within the 20-year R.A. plan approved by voters in 2006. Includes \$76.1M for a 1.3 mile-long multi-modal roadway corridor linking I-10 and Broadway along railroad

- 4 vehicle lanes with median and turning lanes
- On-street bike lanes, sidewalks, and separate multi-use path
- Major drainage improvements: New Tucson Arroyo Culvert
- 6th Street Underpass at the Union Pacific Railroad
- Four rail-crossing upgrades to establish Quiet Zone eligibility
- Maclovio Barraza Parkway bridge over 6th Avenue
- 9th Avenue Deck Plaza with public space, landscaping, art
- Native desert landscaping and passive water harvesting
- Public art – 6 total artists for corridor
- 6th Avenue signal upgrade for two-way traffic



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Project Schedule

Phase I: 8th Street Drainage Improvements

- Completed in May 2012

Phase II: 8th Street's Road from 14th to Church Ave

- Completed in May 2014

High School Wash Improvements (Army Corps of Engineers project)

- Managed by Pima County Flood Control District with Army Corps of Engineers
- Completed April 2015. Will initiate FEMA floodplain map revisions

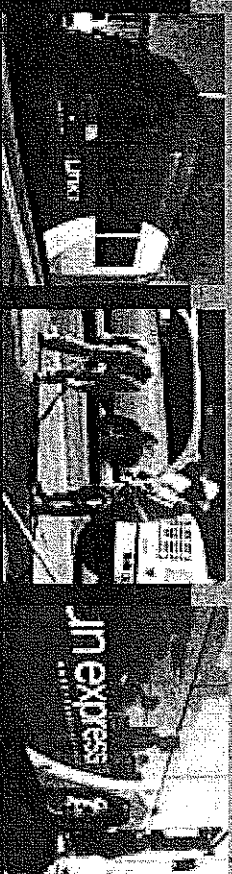
Phase III: Church Ave. to Broadway

- August 2015: Completed 100% Plans, 585 sheets
- Early-Mid 2016: Complete property acquisitions, demolitions, utility relocations
- Mid 2016: Begin major construction that will last 24-30 months



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Completed in 2013

Downtown Links: 8th St. Drainage Segment

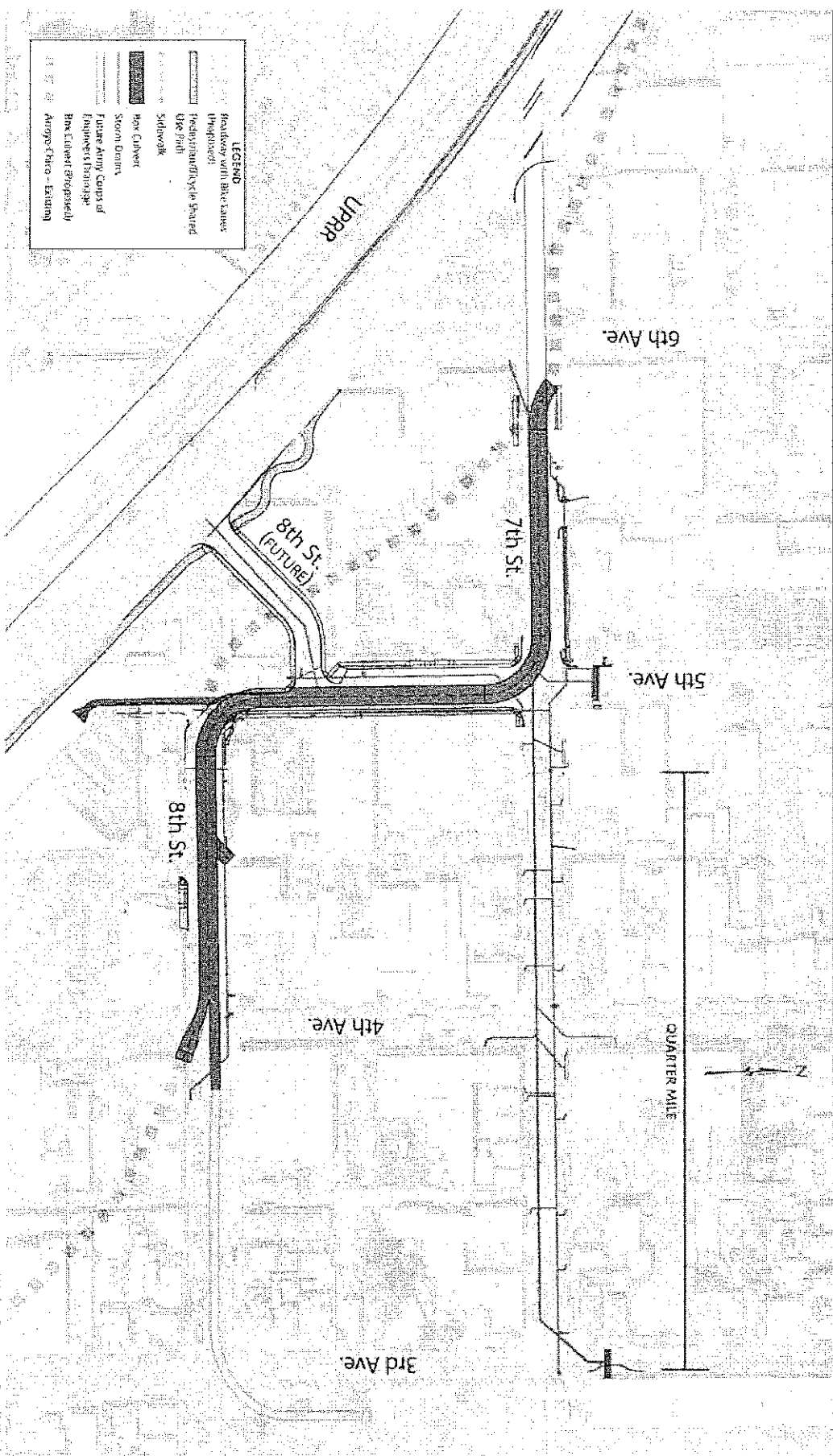
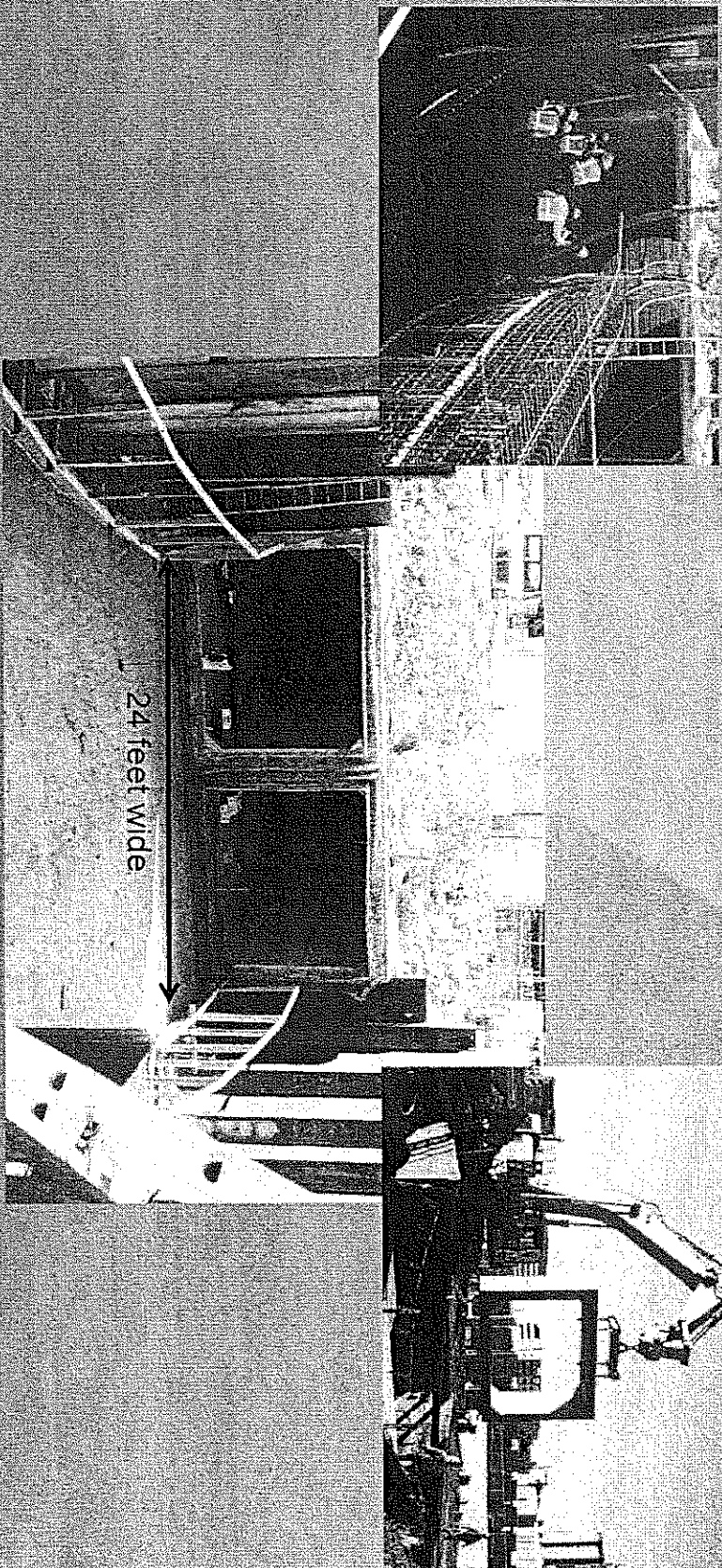


Figure 1. The effect of the concentration of the inhibitor on the rate of polymerization of α -methylstyrene in the presence of SnCl_4 at 25°C .

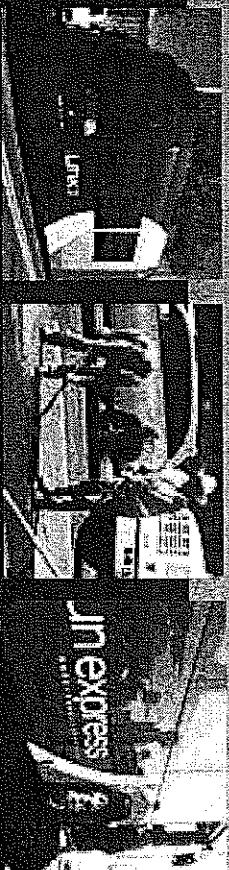
Phase I: 8th Street Drainage

Completed in May 2012



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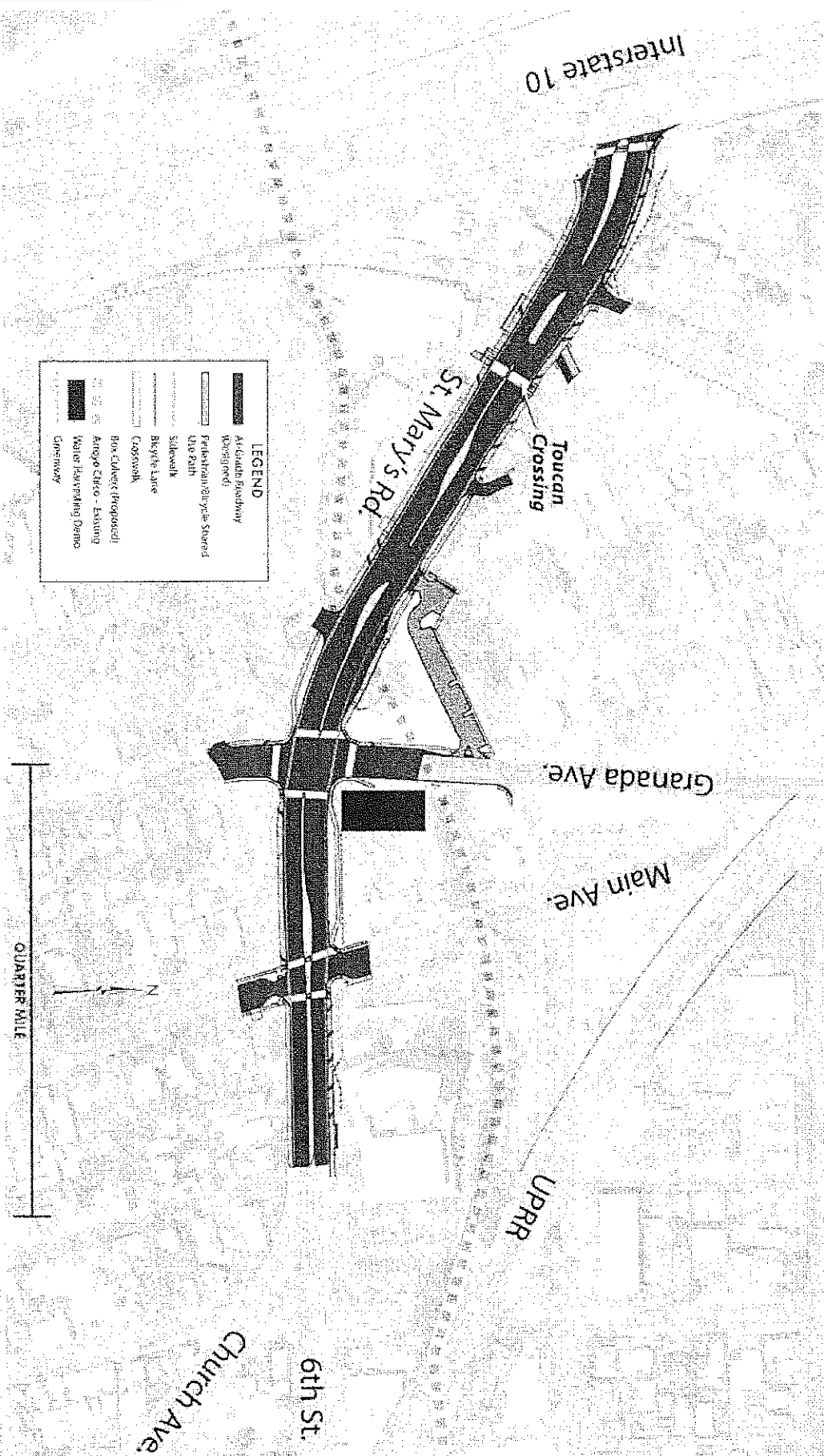


Phase II: St. Mary's Road

Completed in 2014

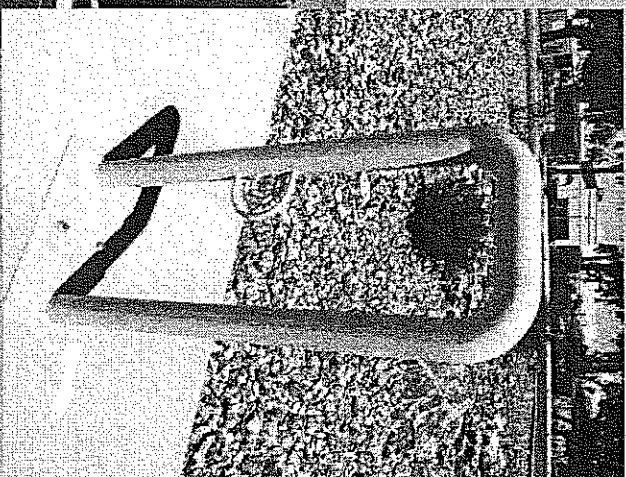
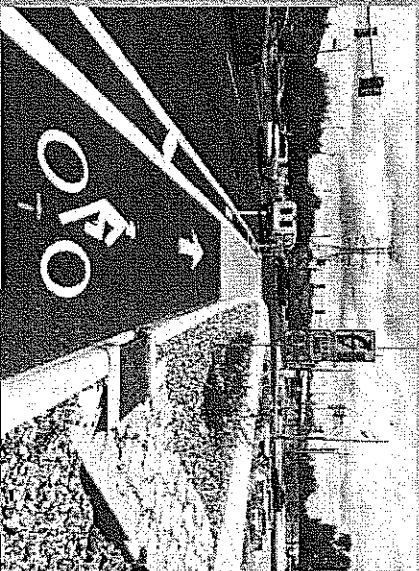
downtown **LINKS**

Downtown Links: St. Mary's Segment



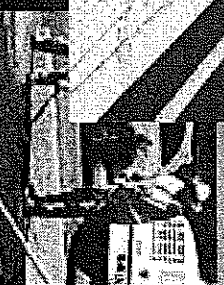
Phase II: St. Mary's Road

- Re-use of materials
- Re-use of asphalt
- Native succulent plants
- Highlighting the
- Proposed bike lanes

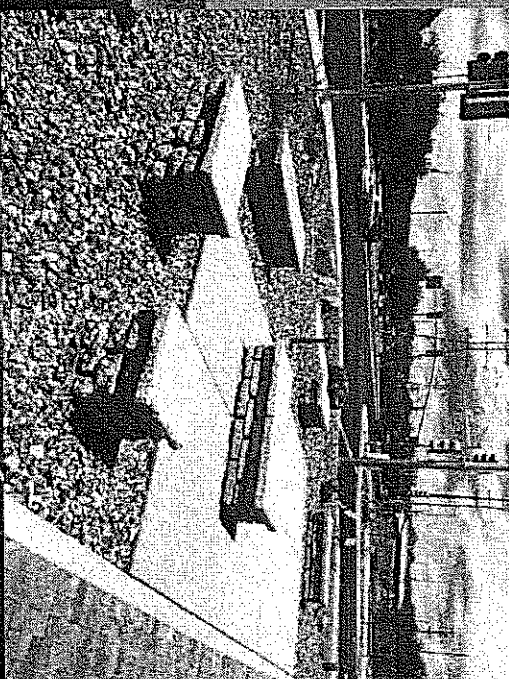
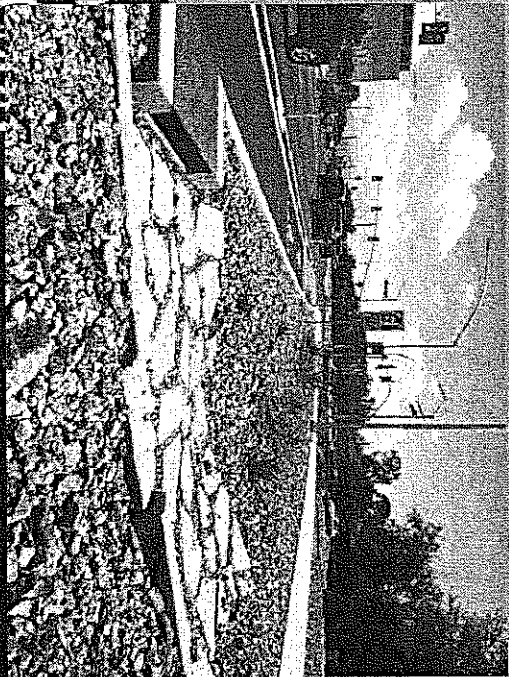
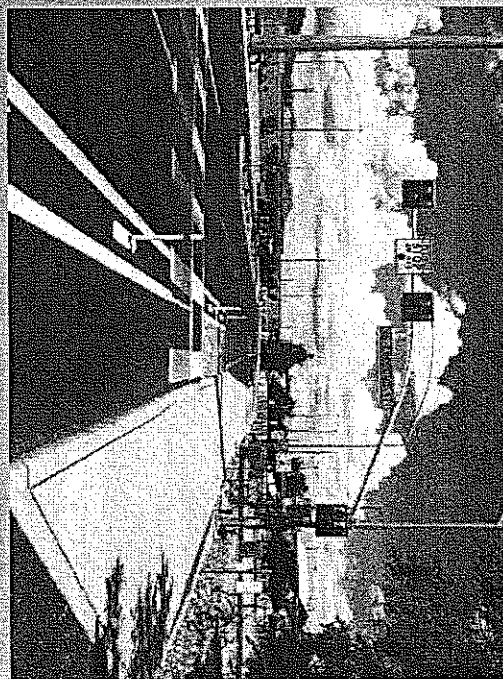
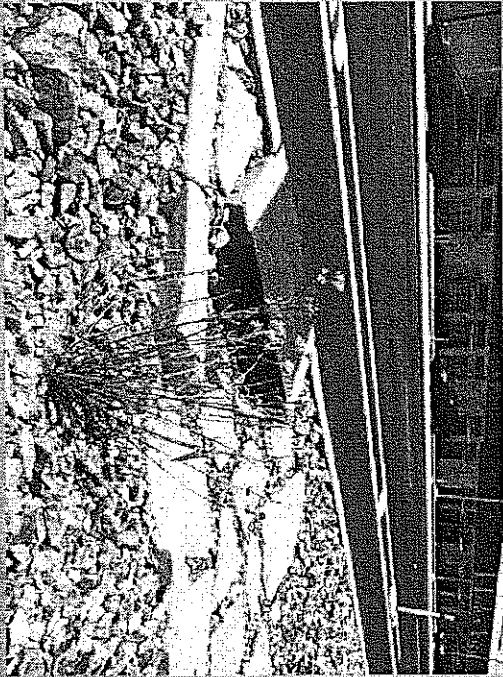


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Phase II: St. Mary's Road

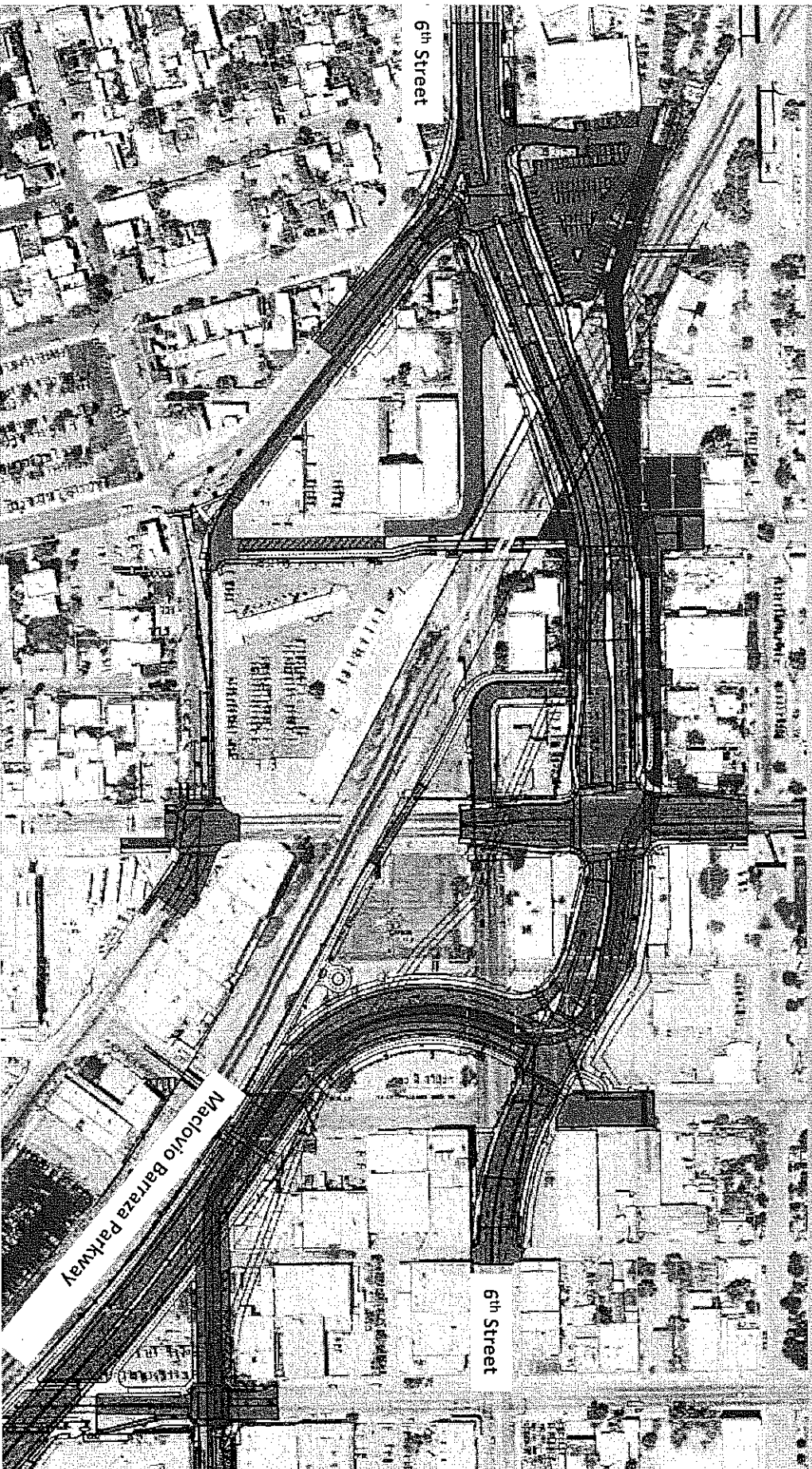


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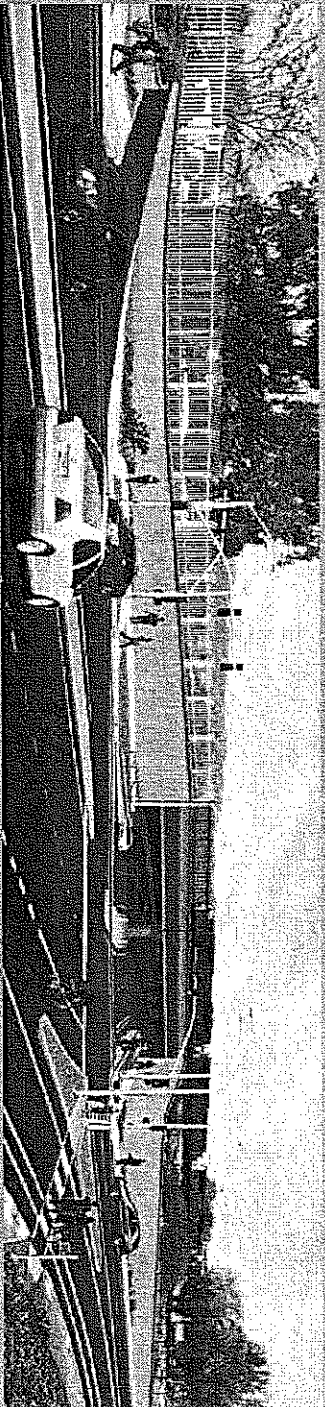
Phase III: Church Ave. to Broadway

To begin in 2015



Future 6th Street Underpass

Looking east from Church Ave. Intersection

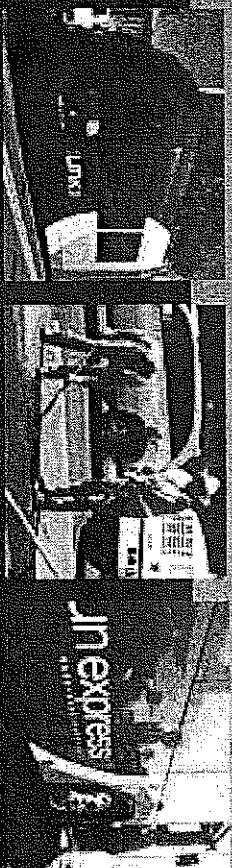


Rendering for illustrative purposes only



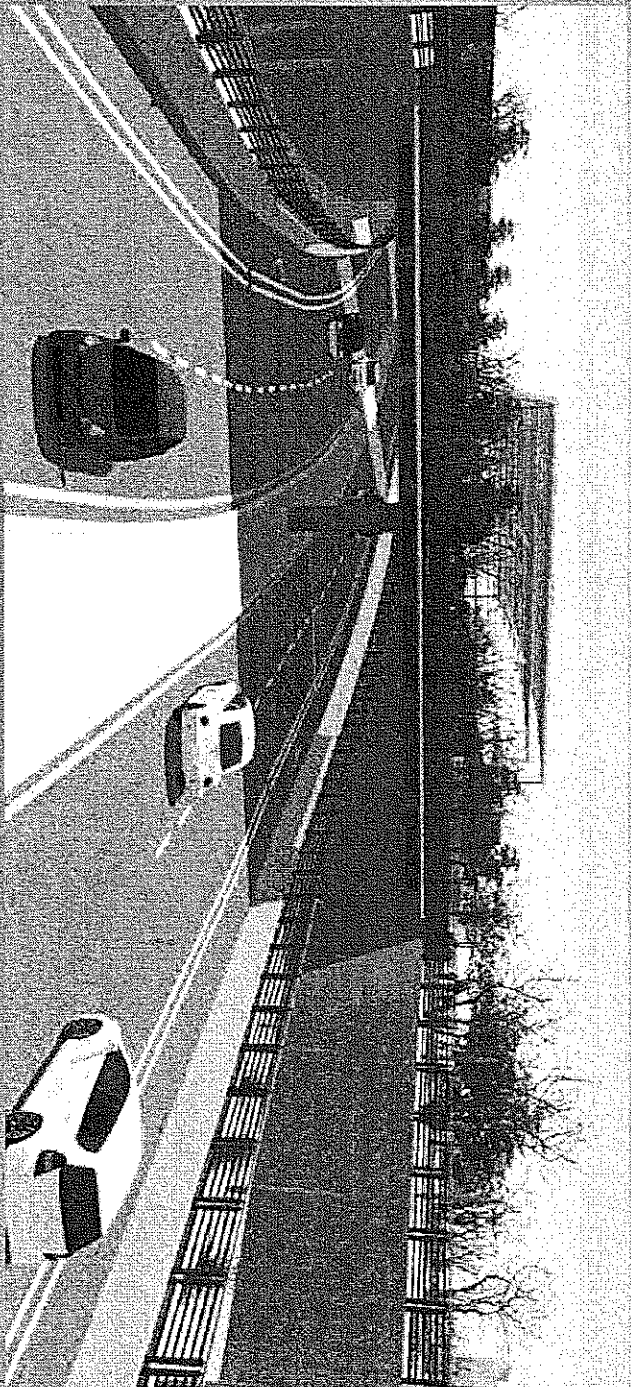
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Future 9th Avenue Deck Plaza

Looking west from future 9th Avenue underpass

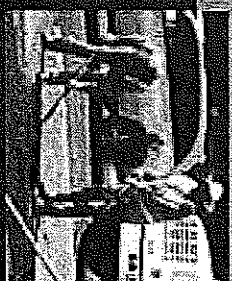


Rendering for illustrative purposes only



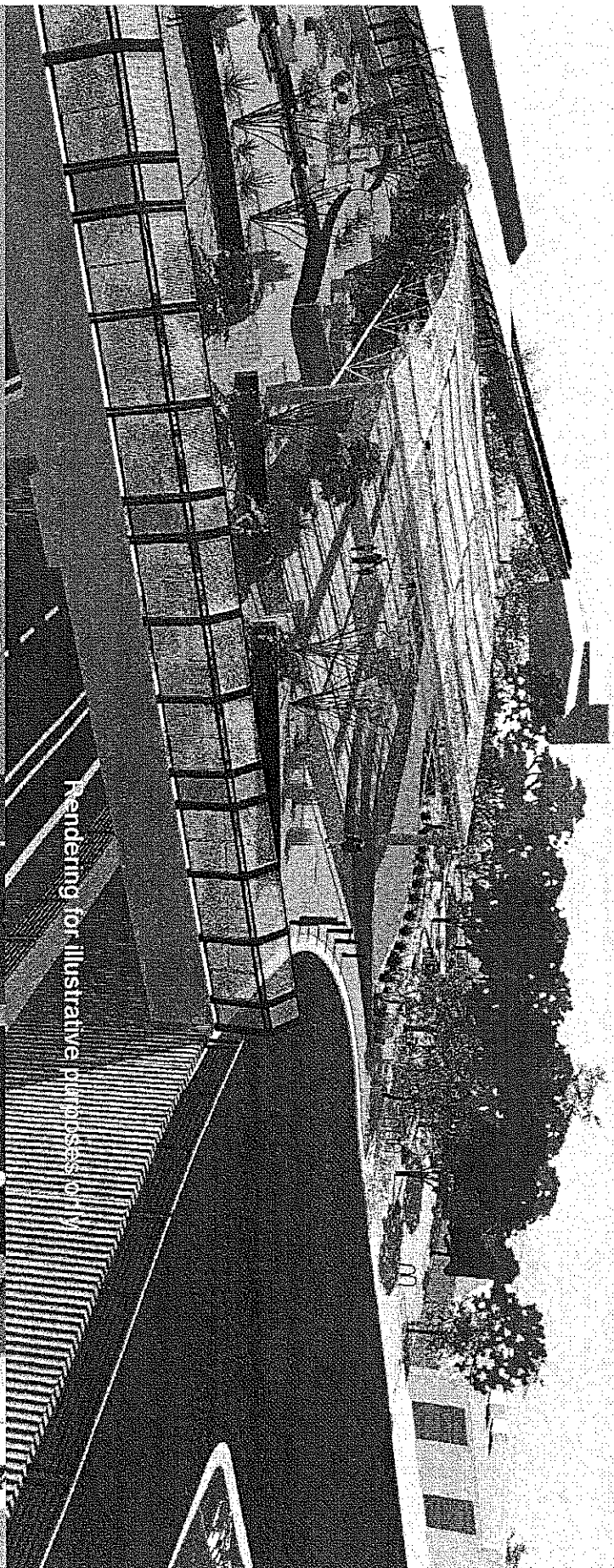
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9th Avenue Deck Plaza

looking northwest

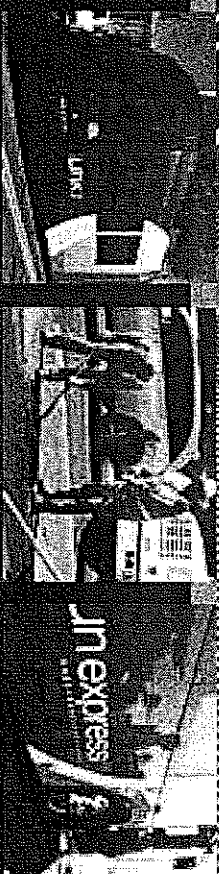


Rendering for illustrative purposes only



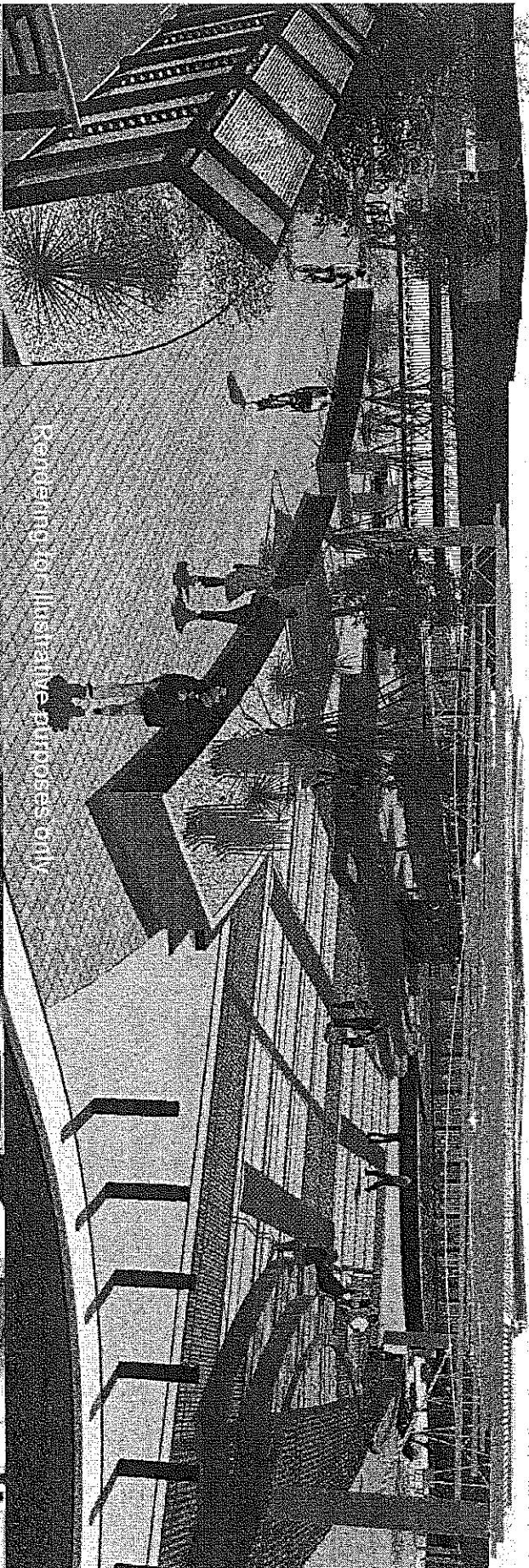
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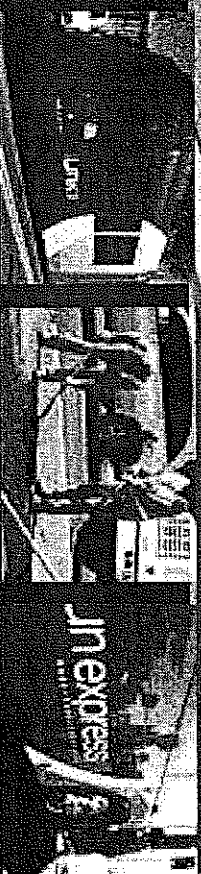
9th Avenue Deck Plaza

looking southwest



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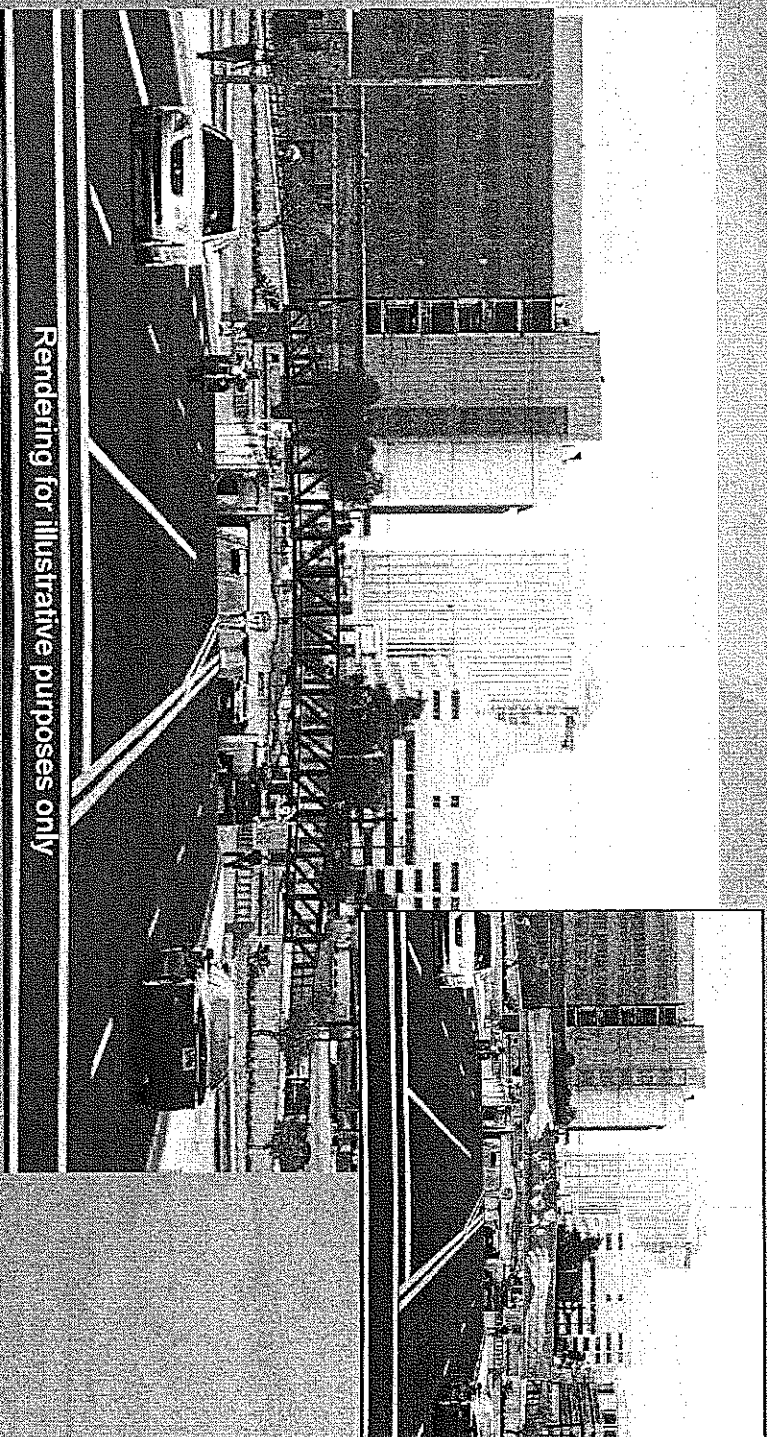
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inexpress

Future Stone Ave. Bike/Ped Bridge

Looking south from future 6th Street Intersection

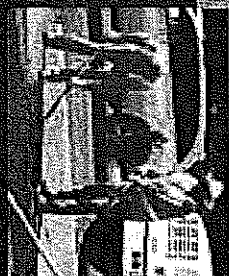


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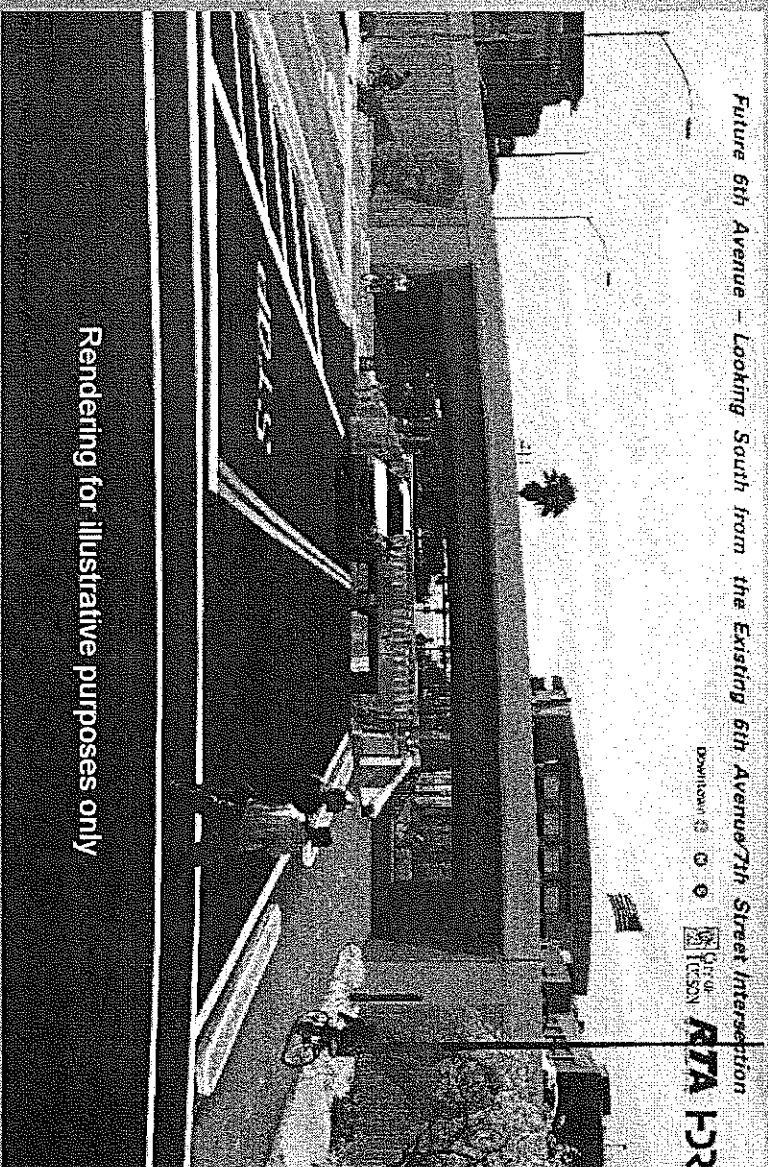
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Future Bridge over 6th Avenue

Looking South from 7th Street



Rendering for illustrative purposes only



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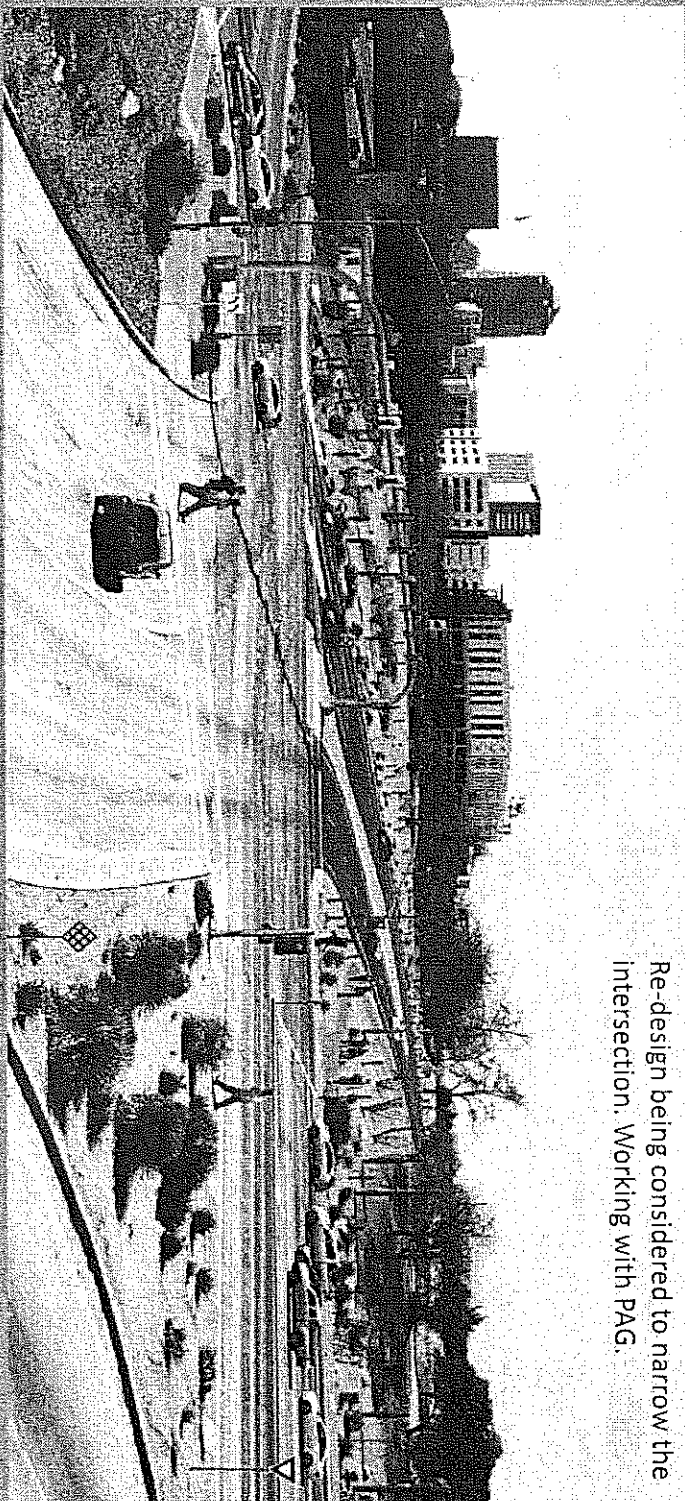
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Future Maclovio Barraza Parkway

Looking northwest from on-rampway

Re-design being considered to narrow the intersection. Working with PAG.

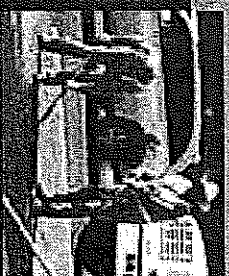


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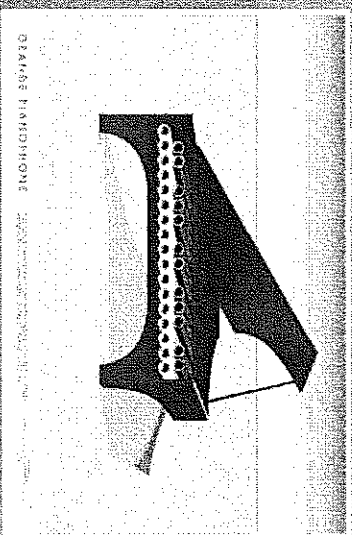
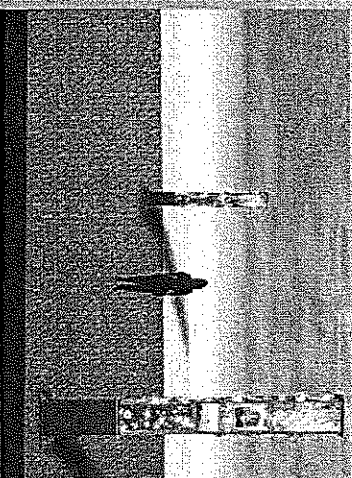
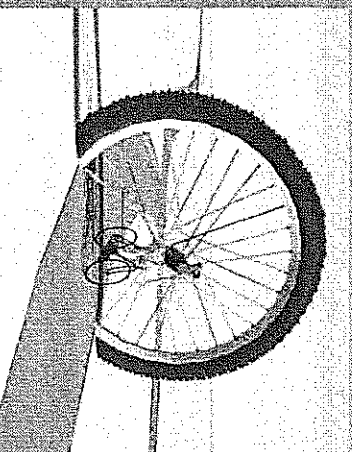
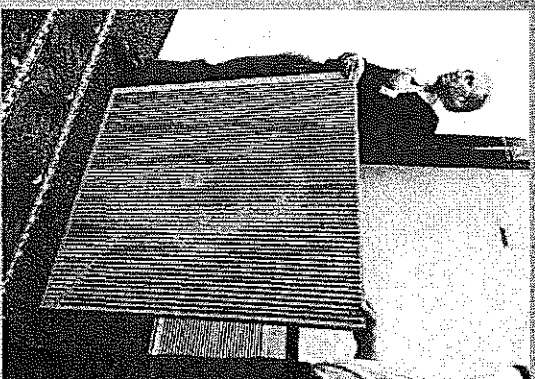
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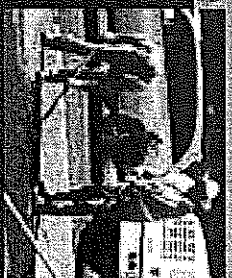
Public Art

- Joe O'Connell, Weil Mares
- Cork Marchessault, handle sculpture
- Greg Payne, Granddaddyphone
- Simon Donovan and Ben O'Nishead, Weil design
- Madlono Barraza, memorial artist selection in 2016



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Phase III: Church Ave. to Broadway

■ 2015 progress

- ✓ 100% plan completion in August 2015
- ✓ Working with UPRR to finalize all design details and approvals
- ✓ Completing coordination with utilities, water, sewer, electric, gas, communication
- ✓ Century Link relocation in progress on 7th Ave and 5th Street
- ✓ Property acquisitions and relocations in process
- ✓ Phase II environmental assessments/clean-ups in process

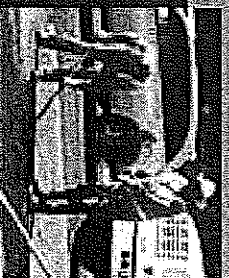
■ 2016 progress

- ✓ TEP line relocations January-June. New poles and lines.
- ✓ Property demolitions January-June
- ✓ Other fiber communications to begin relocations in Summer
- ✓ Phase II major construction – Summer-Fall



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More Information

Downtown Links website: www.downtownlinks.info

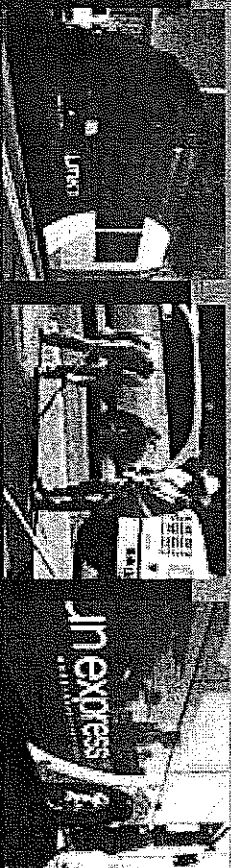
Sam Crecio, IDOT Project Manager (Engineering)
sam.crecio@tucsonaz.gov

Tom Fisher, IDOT Project Manager (Planning)
tom.fisher@tucsonaz.gov



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in express

PARTIAL

Phase I Environmental Site Assessment

5th – 7th Center

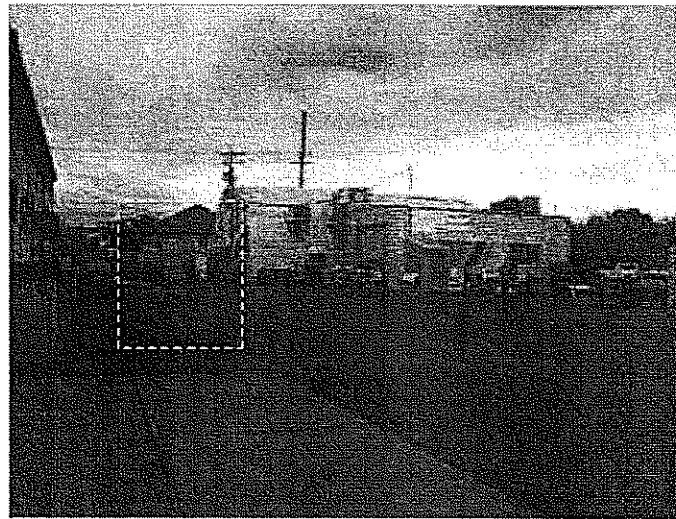
58 East 5th Street

APNs 117-04-214A, -214B, -214C, and -2160

Tucson, Pima County, AZ

February 27, 2015

Terracon Project No. 63157026



Prepared for:
Gardner Capital Development, LLC
St. Louis, Missouri

ADDENDUM
6/3/15

Prepared by:
Terracon Consultants, Inc.
Tucson, Arizona

terracon.com

Terracon

Environmental



Facilities



Geotechnical



Materials

February 27, 2015



Gardner Capital Development, LLC
800 Maryland Avenue
Suite 910
St. Louis, MO 63105

Attn: Michael Gardner
P: (314) 561-5900
E: michael@gardnercapital.com

Re: Phase I Environmental Site Assessment
5th – 7th Center
58 East 5th Street
APNs 117-04-214A, -214B, -214C, and -2160
Tucson, Pima County, Arizona
Terracon Project No. 63157026

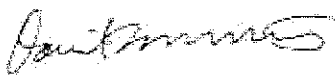
Dear Mr. Gardner:

Terracon Consultants, Inc. (Terracon) is pleased to submit the enclosed Phase I Environmental Site Assessment (ESA) report for the above-referenced site. This assessment was performed in accordance with Terracon Proposal No. P65150072.

We appreciate the opportunity to be of service to you on this project. In addition to Phase I services, our professionals provide geotechnical, environmental, construction materials, and facilities services on a wide variety of projects locally, regionally and nationally. For more detailed information on all of Terracon's services please visit our website at www.terracon.com. If there are any questions regarding this report or if we may be of further assistance, please do not hesitate to contact us at 520.794.4846 (Kevin) or 602.239.4841 (Dave).

Sincerely,
Terracon Consultants, Inc.


Kevin T. Woner
Project Environmental Scientist


David M. Matson, CHMM
Environmental Department manager
Senior Associate

Terracon Consultants Inc. 355 S. Euclid, Suite 107 Tucson, AZ 85719
P 520-776-1788 F 520-792-2639 terracon.com

TABLE OF CONTENTS

	Page No.
EXECUTIVE SUMMARY	i
Findings	i
Conclusions	iii
Recommendations	iv
1.0 INTRODUCTION	1
1.1 Site Description	1
1.2 Scope of Services	1
1.3 Standard of Care	2
1.4 Additional Scope Limitations, ASTM Deviations and Significant Data Gaps	2
1.5 Reliance	3
1.6 Client Provided Information	4
2.0 PHYSICAL SETTING	4
3.0 HISTORICAL USE INFORMATION	5
3.1 Historical Topographic Maps	6
3.2 Historical Aerial Photographs	6
3.3 Historical City Directories	8
3.4 Historical Fire Insurance Maps	10
Historical Fire Insurance Maps	11
3.5 Site Ownership	12
3.6 Title Search	12
3.7 Environmental Liens	12
3.8 Interviews Regarding Current and Historical Uses	12
3.9 Building Department Records	12
3.10 Historical Use Information Summary	13
4.0 RECORDS REVIEW	13
4.1 Federal and State/Tribal Databases	13
4.2 Arizona Department of Environmental Quality	20
4.3 Local Agency Inquiries	20
4.3.1 Pima County Tax Assessor	20
4.3.2 Fire Department	20
4.3.3 Planning, Building Permit Records	20
4.4 Records Review Summary	20
5.0 SITE RECONNAISSANCE	21
5.1 General Site Information	21
5.2 Overview of Current Site Occupants and Operations	22
5.3 Site Observations	22
5.4 Site Reconnaissance Summary	25
6.0 ADJOINING PROPERTY RECONNAISSANCE	25
7.0 DECLARATION	26

TABLE OF CONTENTS (continued)

APPENDICES

APPENDIX A	Exhibit 1 - Topographic Map, Exhibit 2 - Site Diagram
APPENDIX B	Description of Terms and Acronyms
APPENDIX C	Historical Documentation and User Questionnaire
APPENDIX D	Environmental Database Information
APPENDIX E	Site Photographs
APPENDIX F	Credentials

EXECUTIVE SUMMARY

This Phase I Environmental Site Assessment (ESA) was performed in accordance with Terracon Proposal No. P65150072, and was conducted consistent with the procedures included in ASTM E 1527-13, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process*. The ESA was conducted under the supervision or responsible charge of David M. Matson, Environmental Professional. Kevin T. Woner performed the site reconnaissance on February 24, 2015.

Findings

A summary of findings is provided below. It should be recognized that details were not included or fully developed in this section and the report must be read in its entirety for a comprehensive understanding of the items contained herein.

Site Description and Use

The site is approximately 1.5 acres in size and is comprised of four parcels. The portion of the site identified with Pima County parcel number 117-04-214A (56 and 58 East 5th Street) was developed with an approximate 3,400 square foot (SF) Quonset building on the northeast corner in 1946 and an approximate 6,690 SF building on the northwest portion in 1946. The portion of the site identified with Pima County parcel number 117-04-214B (529 North 7th Avenue) was developed with an approximate 1,750 SF building at the middle of the site in 1946. The portions of the site identified with Pima County parcel numbers 117-04-214C (519 North 7th Avenue) and 117-04-2160 (546 North Stone Avenue) are currently vacant gravel covered lots. North Echols Avenue leads between parcels 117-04-214A (west portion) and 117-04-2160 (east portion).

The building on the northwest portion of the site is used by Wet-Media, Inc., a provider of world-wide social networking sites. In addition, the building is used by several local artists as studio and display space. The types of art produced at the site include paintings, weaving, ceramics and digital photography. The building on the northeast portion of the site is used as a wooden furniture manufacturing shop and as an artistic clay figure studio and manufacturing shop with electric and natural gas fired kilns. The wooden furniture manufacturing shop has a spray booth for the application of wood finishes including stain and lacquer. Small quantities of the lacquer and stain are purchased on an as needed basis and no large quantities are stored on the site. Liquid wastes generated from the finishing process and cleaning of the spray guns reportedly either volatilize or are cleaned-up using rags which are disposed in the dumpster.

Historical Information

Based on a review of the historical information, the site was developed with residential structures as far back as the early 1900s. By the early 1930s, retail businesses including a grocery store, auto repair shops and transportation facilities were on the site. The existing structures on the northeast and northwest portions of the site were constructed in 1946 and were used as auto

Phase I Environmental Site Assessment

5th – 7th Center ■ Tucson, AZ

February 27, 2015 ■ Terracon Project No. 63157026

Terracon

repair, auto freight and warehouse facilities through the mid-1980s. Structures on the southernmost portion of the site were removed in the late 1960s and the structures on the westernmost portion of the site were removed in early-2000. The historic uses as auto repair and transportation facilities represent a REC to the site.

In addition, gasoline USTs were historically located on the site. Records obtained from the City of Tucson Development Services Department indicate that in 1956 a 1,000-gallon gasoline UST was replaced with two 2,000-gallon gasoline USTs. The EDR Report did indicate that three USTs were removed in 1986 and one UST was removed in 1987. Complete records of the removal and subsequent closure assessment soil sampling for these USTs were not found. These former USTs represent a REC to the site.

The ADEQ was contacted on February 24, 2015 to perform a records search regarding environmental records or information indicating environmental concerns including possible LUSTs incidents and USTs registered for the site. Terracon has not received a reply from the ADEQ at the time of the issuance of this report. Should information of environmental significance be found, an addendum will be issued to this report.

Records Review

Selected federal and state environmental regulatory databases as well as responses from state and local regulatory agencies were reviewed. The site was identified in the UST and Historic Auto Station regulatory databases.

Historical records indicate that the site address of 58 East 5th Street was used interchangeably with the address 56 East 5th Street. Wilson Bros. Garage was identified in the regulatory database as a historical automotive operation at the site for the years 1935 and 1941. Kv33 Corp was identified in the regulatory database report as a UST facility (Facility ID 0-009090). Based on information provided in the EDR report, there were four USTs at the site. Three of the USTs were removed from the site in 1986 and one was removed in 1987. As the USTs were removed prior to the implementation of current ADEQ regulatory protocol and no closure assessment soil sampling data was discovered, the former USTs constitute a REC at the site.

Portions of the site were identified as being located above the plume boundaries of the 7th Street and Arizona Avenue Water Quality Assurance Revolving Fund (WQARF) study area, where groundwater is known to be contaminated with tetrachloroethene (PCE). The proposed redevelopment of the site includes the construction of residential apartment buildings; therefore, potential vapor encroachment from PCE-contaminated groundwater constitutes a REC at the site.

The Goodman VH facility 65 feet south (up-gradient) of the site was listed in the database report as an automotive service station from 1930-1945. Based on the close proximity and up-gradient position relative to the site, this former facility represents a REC to the site.

Based on distance, environmental setting and/or facility characteristics, the additional identified

facilities and inquiry results from the local agencies do not constitute RECs in connection with the site at this time.

Site Reconnaissance

Based on the site reconnaissance, two out of service sumps inside the wood and clay shops were identified. In addition, a circular 12 inch concrete patched area was observed on the floor inside the wood shop. This area may be a removed piston associated with a subsurface hydraulic lift or an area where a previous boring was advanced. Mr. Studwell, the owner of the site, had no knowledge of this feature. The two sumps and unknown circular concrete patched area represent RECs to the site.

Adjoining Properties

Immediately adjoining to the north is East 5th Street followed by single-family residences, and Primarily Japanese Auto Center at 600 North Stone Avenue; immediately adjoining to the east is North 7th Avenue followed by single-family residences, and AFR Collision and Refinishing Center at 520 North 7th Street; immediately adjoining to the south is a vacant structure at 509 North 7th Avenue and Alley Art Glass at 512 North Echols Avenue; and immediately adjoining to the west is a vacant lot, Arizona Trail Association at 534 North Stone Avenue, and North Stone Avenue followed by Enterprise Rent-A-Car at 549 North Stone Boulevard. Indications of RECs were not observed with the adjoining properties.

Additional Services

An asbestos and lead-based paint survey was performed on the buildings at the site. The asbestos and lead-based paint survey report has been presented under a separate cover (Terracon Project No. 63157026, report dated February 27, 2015).

Conclusions

We have performed a Phase I ESA in accordance with the procedures included in ASTM Practice E 1527-13 of the site identified with Pima County parcel number 117-04-214A (56 and 58 East 5th Street), parcel number 117-04-214B (529 North 7th Avenue), parcel numbers 117-04-214C (519 North 7th Avenue) and 117-04-2160 (546 North Stone Avenue), Tucson, Arizona, the site. This assessment has revealed evidence of the following RECs in connection with the site:

- This site is within the 7th Street and Arizona Avenue groundwater plume. The groundwater beneath the site is estimated to be approximately 175 feet below ground surface (bgs) and is not used for drinking purposes, although there is a perched aquifer reported at a depth of approximately 60 feet bgs. The Tucson Water Company provides municipal water from other sources which meet federal and state drinking water standards to the site. The Responsible Parties have been identified and are cooperating in the cleanup relating to the plume. The proposed future use of the site will be multi-family residential apartment buildings; therefore, potential vapor intrusion from PCE-contaminated groundwater constitutes a REC at the site.

- As a result of the historical review of the site and adjoining areas, Terracon identified historical USTs and automotive repair operations on the site, and former dry cleaning operations within the vicinity of the site that may have impacted soil or soil vapor at the site. These historic uses constitute a REC for the site.
- Two metal grate covered sumps were observed in the wood shop and in the clay shop during the site reconnaissance. The sumps' date of construction are unknown, but believed to have been installed in the 1940s during the original construction of the building. The sumps have been out of service for several years. Evidence of cracked concrete, staining and surface releases was observed inside and within the vicinity of the sumps at the time of the site reconnaissance. Based on the age of the sumps, prior automotive service activities, and observed conditions, the sumps represent a REC in connection with the site.
- A circular 12 inch concrete patched area was observed in the floor inside the wood shop area. This area may be a removed piston associated with a subsurface hydraulic lift or an area where a previous boring was advanced. Mr. Studwell, the owner of the site had no knowledge of this feature. This unknown circular concrete patched area represents a REC to the site.
- Gasoline USTs were historically located on the site. Records obtained from the City of Tucson Development Services Department indicate that in 1956 a 1,000-gallon gasoline UST was replaced with two 2,000-gallon gasoline USTs. The EDR database report indicated that three USTs were removed from the site in 1986 and one UST was removed in 1987. Complete records of the removal and subsequent closure assessment soil sampling for these USTs were not found. These USTs represent a REC to the site.

Recommendations

Based on the scope of services, limitations, and findings of this assessment, Terracon identified the following RECs for the site that warrant further investigation:

- The 7th Street and Arizona Avenue groundwater plume and historic uses of the site and adjoining areas may have impacted the soil or soil vapor at the site and should be assessed for potential vapor encroachment.
- Subsurface soil sampling should be conducted at the two sumps, unknown circular concrete patched area, and areas of historic USTs.
- Liquid wastes and used rags associated with the spray booth activities in the site's wood shop should be properly disposed at an appropriate off-site facility.

PHASE I ENVIRONMENTAL SITE ASSESSMENT

5TH – 7TH CENTER

58 EAST 5TH STREET

TUCSON, PIMA COUNTY, ARIZONA

Terracon Project No. 63157026

February 27, 2015

1.0 INTRODUCTION

1.1 Site Description

Site Name	5th - 7th Center, LLC Property
Site Location/Addresses	56 and 58 East 5th Street, 519 and 529 North 7 th Street, and 546 North Stone Avenue, Tucson, Pima County, Arizona
Land Area	Approximately 1.5 acres
Site Improvements	The portion of the site identified with Pima County parcel number 117-04-214A (56 and 58 East 5 th Street) was develop with an approximate 3,400 square foot Quonset building on the northeast corner in 1946 and an approximate 6,690 square foot building on the northwest portion in 1946. The portion of the site identified with Pima County parcel number 117-04-214B (529 North 7 th Avenue) was develop with an approximate 1,750 building at the middle of the site in 1946. The portions of the site identified with Pima County parcel numbers 117-04-214C (519 North 7 th Avenue) and 117-04-2160 (546 North Stone Avenue) are currently vacant gravel covered lots. North Echols Avenue leads between parcels 117-04-214A (west portion) and 117-04-2160 (east portion).

The site location is depicted on Exhibit 1 of Appendix A, which was reproduced from a portion of the USGS 7.5-minute series topographic map. A Site Diagram of the site and adjoining properties is included as Exhibit 2 of Appendix A. Acronyms and terms used in this report are described in Appendix B.

1.2 Scope of Services

This Phase I ESA was performed in accordance with Terracon Proposal No. P65150072, and was conducted consistent with the procedures included in ASTM E 1527-13, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process*. The purpose of this ESA was to assist the client in developing information to identify RECs in connection with the site as reflected by the scope of this report. This purpose was undertaken through user-provided information, a regulatory database review, historical and physical records review, interviews, including local government inquiries, as applicable, user-provided information,

and a visual noninvasive reconnaissance of the site and adjoining properties. Limitations, ASTM deviations, and significant data gaps (if identified) are noted in the applicable sections of the report.

1.3 Standard of Care

This ESA was performed in accordance with generally accepted practices of this profession, undertaken in similar studies at the same time and in the same geographical area. We have endeavored to meet this standard of care, but may be limited by conditions encountered during performance, a client-driven scope of work, or inability to review information not received by the report date. Where appropriate, these limitations are discussed in the text of the report, and an evaluation of their significance with respect to our findings has been conducted.

Phase I ESAs, such as the one performed at this site, are of limited scope, are noninvasive, and cannot eliminate the potential that hazardous, toxic, or petroleum substances are present or have been released at the site beyond what is identified by the limited scope of this ESA. In conducting the limited scope of services described herein, certain sources of information and public records were not reviewed. It should be recognized that environmental concerns may be documented in public records that were not reviewed. No ESA can wholly eliminate uncertainty regarding the potential for RECs in connection with a property. Performance of this practice is intended to reduce, but not eliminate, uncertainty regarding the potential for RECs. No warranties, express or implied, are intended or made. The limitations herein must be considered when the user of this report formulates opinions as to risks associated with the site or otherwise uses the report for any other purpose. These risks may be further evaluated – but not eliminated – through additional research or assessment. We will, upon request, advise you of additional research or assessment options that may be available and associated costs.

1.4 Additional Scope Limitations, ASTM Deviations and Significant Data Gaps

Based upon the agreed-on scope of services, this ESA did not include subsurface or other invasive assessments, vapor intrusion assessments or indoor air quality assessments (i.e. evaluation of the presence of vapors within a building structure), business environmental risk evaluations, or other services not particularly identified and discussed herein. Credentials of the company (Statement of Qualifications) have not been included in this report but are available upon request. Pertinent documents are referred to in the text of this report, and a separate reference section has not been included. Reasonable attempts were made to obtain information within the scope and time constraints set forth by the client; however, in some instances, information requested is not, or was not, received by the issuance date of the report. Information obtained for this ESA was received from several sources that we believe to be reliable; nonetheless, the authenticity or reliability of these sources cannot and is not warranted hereunder. This assessment was further limited by the following:

- Historic information identifying uses of the site were described as far back as 1909, when the site was developed with residential and commercial structures. Based on the available information, the lack of information regarding development of the site prior to 1909 does not appear to be a significant data gap.
- ADEQ records related to the site's former UST systems and possible associated releases were requested, but not provided prior to completion of this report. This lack of information regarding former USTs on the site is considered a significant data gap and represents a REC for the site.

An evaluation of the significance of these limitations and missing information with respect to our findings has been conducted, and where appropriate, significant data gaps are identified and discussed in the text of the report. However, it should be recognized that an evaluation of significant data gaps is based on the information available at the time of report issuance, and an evaluation of information received after the report issuance date may result in an alteration of our conclusions, recommendations, or opinions. We have no obligation to provide information obtained or discovered by us after the issuance date of the report, or to perform any additional services, regardless of whether the information would affect any conclusions, recommendations, or opinions in the report. This disclaimer specifically applies to any information that has not been provided by the client.

This report represents our service to you as of the report date and constitutes our final document; its text may not be altered after final issuance. Findings in this report are based upon the site's current utilization, information derived from the most recent reconnaissance and from other activities described herein; such information is subject to change. Certain indicators of the presence of hazardous substances or petroleum products may have been latent, inaccessible, unobservable, or not present during the most recent reconnaissance and may subsequently become observable (such as after site renovation or development). Further, these services are not to be construed as legal interpretation or advice.

1.5 Reliance

This ESA report is prepared for the exclusive use and reliance of Gardner Capital Development, LLC and Butler Housing Company, Inc. Use or reliance by any other party is prohibited without the written authorization of Gardner Capital Development, LLC and Terracon Consultants, Inc. (Terracon).

Reliance on the ESA by the client and all authorized parties will be subject to the terms, conditions and limitations stated in the proposal, ESA report, and Terracon's Agreement. The limitation of liability defined in the Agreement is the aggregate limit of Terracon's liability to the client and all relying parties.

Continued viability of this report is subject to ASTM E 1527-13 Sections 4.6 and 4.8. If the ESA will be used by a different user (third party) than the user for whom the ESA was originally prepared, the third party must also satisfy the user's responsibilities in Section 6 of ASTM E 1527-13.

1.6 Client Provided Information

Prior to the site visit the client representative, Mr. Reid Butler, was asked to provide the following user questionnaire information as described in ASTM E 1527-13 Section 6.

Client Questionnaire Responses

Client Questionnaire Item	Client Did Not Respond	Client's Response	
		Yes	No
Aware of any Environmental Cleanup Liens against the site.	X		
Actual Knowledge of Environmental Liens or Activity Use Limitations (AULs) that may encumber the site.	X		
Aware of any Specialized Knowledge or Experience related to the site or nearby properties.	X		
Actual Knowledge of a Significantly Lower Purchase Price because of hazardous substances or petroleum products.	X		
Commonly Known or Reasonably Ascertainable Information that is material to a release in connection with the site.	X		
Obvious Indicators of Contamination at the site.	X		

The client did not provide the requested User's information as of the issuance date of the report, Terracon assumes the client is evaluating the questionnaire information outside the context of the Terracon's Phase I ESA scope of work and report.

2.0 PHYSICAL SETTING

Physical Setting Information		Source
Topography (Refer to Appendix A for an excerpt of the Topographic Map)		
Site Elevation	Approximately 2,374 feet above msl	Pima County MapGuide
Topographic Gradient/ Surface Runoff	Terrain is generally flat / To the southwest	
Closest Surface Water	High School Wash, approximately 1,530	

Physical Setting Information		Source
	feet to the southeast	
Soil Characteristics		
Soil Type	Yaqui fine sandy loam, 1 to 3 percent slopes	Web Soil Survey USDA – NRCS Pima County, Eastern Part, AZ, (AZ669), Version 7
Description	The Yaqui series consists of very deep, well drained soils formed in mixed alluvium. Yaqui soils are on alluvial fans and have slopes of 0 to 3 percent. The mean annual precipitation is about 11 inches and the mean annual air temperature is about 67 degrees F.	
Geology/Hydrogeology		
Formation	Quaternary Surficial deposits, undivided (0-2 Ma)	<i>Geologic Map of Arizona</i> Arizona Geological Survey Map #35 2000
Description	Unconsolidated to strongly consolidated alluvial and eolian deposits. This unit includes: coarse, poorly sorted alluvial fan and terrace deposits on middle and upper piedmonts and along large drainages; sand, silt and clay on alluvial plains and playas; and wind-blown sand deposits.	
Estimated Depth to First Occurrence of Groundwater	Approximately 175 feet bgs	<i>Plate 1 and 2, Water Table Elevation, from Annual Static Water Level Basic Data Report, Tucson Basin and Avra Valley, Pima County, Arizona, Tucson Water, 2000</i>
*Hydrogeologic Gradient	Toward the north	

* The groundwater flow direction and the depth to shallow, unconfined groundwater, if present, would likely vary depending upon seasonal variations in rainfall and other hydrogeological features. Without the benefit of on-site groundwater monitoring wells surveyed to a datum, groundwater depth and flow direction beneath the site cannot be directly ascertained.

3.0 HISTORICAL USE INFORMATION

Terracon reviewed the following historical sources to develop a history of the previous uses of the site and surrounding area, in order to help identify past uses for indications of RECs. Copies of selected historical documents are included in Appendix C.

3.1 Historical Topographic Maps

Readily available historical USGS topographic maps were reviewed to evaluate land development in connection with the site. The topographic map indicated in bold is included in Appendix A. The site is located within the boundaries of the *Tucson, Arizona* historical topographic maps (selected years reviewed: 1948, 1957, 1958, 1959, 1963, 1973, 1977, 1983, 1994, 1995, **1996** and 2002) are summarized below.

Historical Topographic Maps

Direction	Description
Site	The site is mapped as developed (1948). The site is mapped with several structures (1957). The site is mapped as developed (1958-2002).
North	The area is mapped as developed with an improved roadway (1948). The area is mapped with several structures (1957). The area is mapped as developed (1958-2002).
East	The area is mapped as developed with an improved roadway (1948). The area is mapped with several structures (1957). The area is mapped as developed (1958-2002).
South	The area is mapped as developed (1948). The area is mapped with several structures (1957). The area is mapped as developed (1958-2002).
West	The area is mapped as developed with an improved roadway (1948). The area is mapped with several structures (1957). The area is mapped as developed (1958-2002).

3.2 Historical Aerial Photographs

Selected historical aerial photographs were reviewed at approximately 10 to 15 year intervals, if readily available, to obtain information concerning the history of development on and near the site. Evaluation of these aerals may be limited by a photo's quality and scale. Selected photographs are summarized on the next page.

- National Resources Conservation Science (NRCS), L255, 1936, No Scale
- Pima County MapGuide (PCMG), 118, 1941, No Scale
- Cooper Aerial, 11-8, 1953, 1:800
- Cooper Aerial, 11-13, 1960, No Scale
- Cooper Aerial, FL 8-39, 1967, No Scale
- Cooper Aerial, 9-16, 1973, No Scale
- Cooper Aerial, 24-35, 1979, 1:12,000
- Cooper Aerial, 24-35, 1988, 1:12,000
- Cooper Aerial, 24-35, 1994, 1:12,000

- PCMG, No Photo ID, 2002, Variable Scale
- PCMG, No Photo ID, 2014, Variable Scale

Historical Aerial Photographs

Direction	Description
Site	<p>West Portion: Appears to be developed; however, the aerial is of low quality and significant features may be obscured (1936). A large structure is present on the northwest corner. Several smaller structures are present on the remaining areas of the site. The resolution of the aerial is low and significant features may be obscured (1941). This part of the site appears occupied by commercial structures (1953). The east portion appears to be used for automotive storage/salvage (1960-1967). This portion of the site appears to have a structure on the northwest corner (1973-2002). This part of the site appears vacant (2014).</p> <p>East Portion: Appears to be developed; however, the aerial is of low quality and significant features may be obscured (1936). Several structures are present. The existing structures are apparent. The resolution of the aerial is low and significant features may be obscured (1941). The north portion appears to be occupied by commercial structures while the south portion appears to be occupied by residential structures (1953-1960). The south portion appears to have been cleared of structures (1967). The south portion appears to be used for storage (1973). The south portion appears to be used for shipping trailer parking (1979). The south portion is vacant (1988-2014).</p>
North	<p>The area appears to be developed with structures; however, the aerial is of low quality and significant features may be obscured. East 5th Street traverses the area (1936). The area is occupied by a large, apparent commercial structure on the west and several apparent residential structures on the east (1941). The commercial lot on the east appears to be used for automotive storage/salvage (1953-1967). The large commercial structure has been removed (1973-1979). A new, apparent commercial structure is on the west portion (1988-2014).</p>
East	<p>The area appears to be developed with structures; however, the aerial is of low quality and significant features may be obscured. North 7th Avenue traverses the area (1936). Several structures are depicted in the area (1941). The north end is occupied by apparent residential structures while the remaining area is occupied by commercial structures (1953). An apparent commercial property, just south of the residence, appears to be used for automotive storage/salvage (1960-1973). Automotive storage/salvage operations appear to no longer exist in the area (1979-2014).</p>

Direction	Description
South	The area appears to be developed with structures; however, the aerial is of low quality and significant features may be obscured. North Echols Avenue traverses the area north to south (1936). Several residential structures are on the east portion while several commercial structures are on the west portion (1941). One structure is on the majority of the west portion while several smaller, apparent commercial structures are on the remaining area (1953). A large addition is present on the structure on the southwest corner (1960). Several structures have been removed from the southeast corner (1967-1994). The majority of the structure on the west portion has been removed (2002). Approximately half of the structure on the southwest corner has been removed (2014).
West	The area appears to be developed with structures; however, the aerial is of low quality and significant features may be obscured. North Stone Avenue traverses the area north to south (1936). Several structures are depicted on the area (1941-1953). Two structures on the south portion have been removed (1960). A structure on the north portion has been altered and appears to be a service station (1967). A property on the south portion appears to be used for automotive sales (1973). The former apparent automotive sales lot is now vacant (1979-2002). The majority of the southern portion of the area is a vacant, gravel-covered lot (2014).

3.3 Historical City Directories

The Tucson Western Directory Co., Arizona Directory Co., Baldwin, Mullin-Kille, and Cole city directories used in this study were made available through the Pima County Juan Valdez Public Library (selected years reviewed: 1920, 1925, 1929, 1933, 1937, 1940, 1944, 1953, 1959, 1964, 1971, 1978, 1985, 1993, 2001, 2007, 2014). Terracon attempted to review city directories for the years 1910, 1914, and 1917; however, these directories did not organize listings by address ranges. Since these references are copyright protected, reproductions are not provided in this report. Street addresses identified for the site are as follows:

- 56 East 5th Street
- 58 East 5th Street
- 519 North 7th Avenue
- 529 North 7th Avenue
- 546 North Stone Avenue

Historical City Directories

Direction	Description
Site	56 E. 5th Street: No listings (1920-1933), Bisbee Douglas Truck Co. (1937), No Listings (1940-1964), Ryder Truck Rental (1971), Tucson Fleet Service / Whitfield Transportation (1971-1985), Arizona Theatre Service / Clipper Express / Film Transport Co / (1978), Arizona Express (1985), Kv33 (1956), No Listings (1993-2014)

Direction	Description
	<p>58 E. 5th Street: No listings (1920-1944), Arizona Express (1953-1959), No Listings (1953-1993), Acres Advertising / Baker Scott / Tucson Arts District (2001), 5th – 7th Center LLC (2007-2014), Harris Environmental Group Inc. (2007), Wet Media (2014)</p> <p>519 N. 7th Avenue: No listings (1920-1944 and 1959-2014), Mac Tracey's Welding Shop (1953)</p> <p>529 N. 7th Avenue: Residential Listings (1920-1953), No Listings (1959-2014)</p> <p>546 N. Stone Avenue: Gee Sing Grocery (1920), Sing Lee Grocery (1925-1937), Page missing from directory (1940), Subway Market (1944-1953), No Listing (1959), Tally Ho Tavern (1971-1978), Post Litho Printing (1978-1985), No Listings (1993), Auracle (2001), No Listings (2007-2014)</p>
North	<p>25-99 (odd) East 5th Street: Residential Listings (1920-2001), No Listings (2007-2014)</p> <p>602 and 605-617 (odd) N. 7th Avenue: Residential Listings (1920-2014)</p> <p>600 N. Stone Avenue*: No Listings (1920-1937, 1944-1978, and 2007), Multiple Automotive Maintenance Listings (1985-2001 and 2014)</p> <p>601 N. Stone Avenue*: No Listings (1920-1937, Multiple Automotive Maintenance / Parts Sales / Tire Sales Listings (1953-2014)</p>
East	<p>104-108 (even) E. 5th Street: Residential Listings (1920-2014)</p> <p>510-540 (even) N. 7th Avenue: Residential Listings (1920-2001), Commercial Listings delineated below by address and year(s)</p> <p>510 N. 7th Avenue: Tucson Warehouse and Transportation Co (1959)</p> <p>528 N. 7th Avenue: O'Reilly Motor Company (1953)</p> <p>530 N. 7th Avenue: O'Reilly Motor Company (1959), National Paint (1971-1978), Multiple Automotive Maintenance / Fleet Service / Rental Listings (1985-2014)</p>

Direction	Description
South	509 N. 7th Avenue: No Listings (1920-1929 and 1964-2014), Residential Listings (1933-1959)
	512 N. Echols Avenue: Out of Range (1920-1944), No Listings (1953-2014)
	510-538 (even) N. Stone Avenue*: Residential Listings (1920-1933, 1959-1971, and 1985-1993), Commercial Listings delineated below by address and year(s)
	510 N. Stone Avenue*: Multiple Automotive Maintenance Listings / Sales / Parts Listings (1944-1953), Commercial Listing (1959), Construction Listings (2007)
	520 N. Stone Avenue*: Multiple Automotive Maintenance Listings (1929-1937)
	522 N. Stone Avenue*: Automotive Maintenance Listing (1937)
	524 N. Stone Avenue*: Multiple Service Station / Automotive Maintenance / Auto Parts / Tire Sales Listings (1933-1937)
	530 N. Stone Avenue*: Multiple Service Station / Automotive Maintenance / Auto Parts Listings (1920-1937, 1944-1953, and 1964-1993), The Mat Bevel Institute (2007)
	532 N. Stone Avenue*: Advance Janitorial Supply (1964)
	534 N. Stone Avenue*: Via West Interface (1985-1993)
	536 N. Stone Avenue*: Eddie and Hunter's Shop (2001)
	538 N. Stone Avenue*: Nuey Grocery (1925-1933), Arizona Carbn FI Co (1985), Allyn Haynes Catering (2001-2014)
West	516 N. Ash Avenue: No Listings (1920-1944 and 1964-2014), Pacific Mtr Trucking Co. (1953-1959)
	549 N. Stone Avenue*: No Listings (1920, 1959), Multiple Service Stations (1925-1949), Hack/Baldwin Richfield Services, Residential Listing (1964), Multiple Automotive Maintenance Listings (1971-1993), Enterprise Rent-a-Car (2001-2014)

*Pages for Stone Avenue missing in the 1940 City Directory

Several auto repair and transportation facilities were listed on the portion of the site addressed as 56 and 58 East 5th Street since the early 1930s. Due to the long term use as auto repair and transportation facilities there is a potential for hazardous/regulated substances to have impacted the site. These historic uses represent a REC to the site.

3.4 Historical Fire Insurance Maps

Historical fire insurance maps produced by the Sanborn Map Company were requested from EDR to evaluate past uses and relevant characteristics of the site and surrounding properties. EDR provided the 1901, 1909, 1919, 1947, 1949, and 1968 Sanborn Map as summarized below.

Historical Fire Insurance Maps

Direction	Description
Site	<p>West Portion: Site not depicted on map (1901). The west portion of the site is occupied by a grocer, a dwelling, and several smaller structures (1909). The site is occupied by several dwellings (1919). A large structure occupies the northwest corner of the site. Four smaller structures are spread among the remaining site (1947-1949). The site is occupied by one single structure, labeled "Rest", located on the northwest corner (1968).</p> <p>East Portion: Site not depicted on map (1901). Eight dwellings are spread among the area (1909). Ten dwellings are spread among the area. A structure, labeled "Auto", lies near the middle of the site (1919). An auto repair shop and two auto freight depots occupy the north portion of the site. The south portion of the site is occupied by several dwellings (1947-1949). The site is occupied by a structure, labeled "Auto Rep", located on the northeast corner and a large structure, labeled "Auto Freight Depot" in three locations, on the majority of the west portion of the site (1968).</p>
North	<p>A horse car stable and a foundation for an adobe building occupy the southwest portion of the area (1901). A street car shed occupies a large portion of the west portion of the area (1909). The western portion of the area is occupied by Tucson Rapid Transit Car Barn, which includes an eight-car-capacity car barn, a repair shop, and a storage structure. The east portion of the area is occupied primarily by dwellings with a structure, labeled "Auto", lying in the middle of the portion (1919). The west portion of the area is occupied by Tucson Rapid Transit Co's Auto Bus Terminal. The east portion of the area is occupied by several dwellings (1947). The west portion is occupied by a large structure; however, the label is unreadable. The east portion is occupied by several dwellings (1949). A large structure, labeled "Priv Garage", occupies the majority of the west portion of the area. Several dwellings occupy the east portion of the area (1968).</p>
East	<p>Area not depicted on map (1901). The area is occupied by several dwellings (1909-1919). The area is occupied by several dwellings and a private garage (1947). The area is occupied by several dwellings mixed among commercial lots and structures (1949-1968).</p>
South	<p>Area not depicted on map (1901). The west portion of the area is occupied by several dwellings (1909). The area is occupied by several dwellings which are followed by a planing mill (1919). From east to west, the area is occupied by dwellings, several commercial structures, and a large automotive-related structure with three other commercial structures (1947-1949). The dwellings on the east portion of the area have been replaced by a structure, labeled "Gas & Oil" (1968).</p>
West	<p>Area not depicted on map (1901). The area is occupied by several dwellings (1909-1919). A structure, labeled "Gas & Oil", and several other automotive-related structures, occupies the area (1947-1949). The area is occupied by a filling station (1968).</p>

Historic auto repair facilities depicted on the site are considered a REC for the site. Copies of the Sanborn maps are included in Appendix C.

3.5 Site Ownership

Based on a review of information obtained from Pima County assessor's records, the current site owner of parcel numbers 117-04-214A, -214B, -214C, and -2160 is 5th – 7th Center, LLC.

3.6 Title Search

At the direction of the client, a title search was not included as part of the scope of services. Unless notified otherwise, we assume that the client is evaluating this information outside the scope of this report.

3.7 Environmental Liens

Environmental lien records recorded against the site were not provided by the client. At the direction of the client, performance of a review of these records was not included as part of the scope of services and unless notified otherwise, we assume that the client is evaluating this information outside the scope of this report.

3.8 Interviews Regarding Current and Historical Uses

The following individual was interviewed regarding the current and historical use of the site.

Interviewee

Interviewer	Interviewee/Phone #	Title	Date/Time
Kevin T. Woner	Richard Studwell/520-743-0318	Site Owner	February 24, 2015/11:00

Mr. Studwell reported that he has been familiar with the site for ten years and to the best of his knowledge there have been no USTs, AST, or hazardous/regulated substances stored or used on the site during that time. The Quonset building on the northeast portion of the site has been used as a wood shop and artistic clay studio. The building on the northwestern portion of the site has been used as offices and an art studio for several local artists. Mr. Studwell had no knowledge of the 12 inch concrete patched area inside the wood shop. Mr. Studwell was not aware of any pending, threatened or past environmental litigation, proceedings or notices of possible violations of environmental laws or liability or potential environmental concerns in connection with the site.

3.9 Building Department Records

Terracon reviewed building department records from the City of Tucson Department of Developmental Services for information indicating RECs on the site. Developmental Services records had occupancy, inspection, and building records for the site dating back to the early 1950s. A building permit dated August 1956 for the replacement of one 1,000-gallon gasoline tank with two 2,000-gallon gasoline tanks was found for the portion of the site addressed as 58

East 5th Street. Documentation for the removal and subsequent closure assessment soil sampling of these USTs was not found. No additional records of environmental significance were found.

A copy of this document is included in Appendix C.

3.10 Historical Use Information Summary

Based on a review of the historical information, the site was developed with residential structures as far back as the early 1900s. By the early 1930s retail businesses including a grocery store, auto repair shops and transportation facilities were on the site. The existing structures on the northeast and northwest portions of the site were constructed in 1946 and were used as auto repair, auto freight and warehouse facilities through the mid-1980s. Structures on the southernmost portion of the site were removed in the late 1960s and the structures on the westernmost portion of the site were removed in early-2000. The historic uses as auto repair and transportation facilities represent a REC to the site.

In addition, gasoline USTs were historically on the site. Records obtained from the City of Tucson Development Services Department indicate that in 1956 a 1,000-gallon gasoline UST was replaced with two 2,000-gallon gasoline USTs. The EDR database report indicated that three USTs were removed from the site in 1986 and one UST was removed in 1987. Complete records of the removal and subsequent closure assessment soil sampling for these USTs were not found. These former USTs represent a REC to the site.

4.0 RECORDS REVIEW

Regulatory database information was provided by EDR, a contract information services company. The purpose of the records review was to identify RECs in connection with the site. Information in this section is subject to the accuracy of the data provided by the information services company and the date at which the information is updated, and the scope herein did not include confirmation of facilities listed as "unmappable" by regulatory databases.

In some of the following subsections, the words up-gradient, cross-gradient and down-gradient refer to the topographic gradient in relation to the site. As stated previously, the groundwater flow direction and the depth to shallow groundwater, if present, would likely vary depending upon seasonal variations in rainfall and the depth to the soil/bedrock interface. Without the benefit of on-site groundwater monitoring wells surveyed to a datum, groundwater depth and flow direction beneath the site cannot be directly ascertained.

4.1 Federal and State/Tribal Databases

Listed below are the facility listings identified on federal and state/tribal databases within the ASTM-required search distances from the approximate site boundaries. Database definition, descriptions, and the database search report are included in Appendix D.

Federal Databases

Database	Description	Radius (miles)	Listings
CERCLIS	The CERCLIS database is a compilation of facilities which the EPA has investigated or is currently investigating for a release or threatened release of hazardous substances pursuant to the CERCLA of 1980.	0.5	1
CERCLIS / NFRAP	CERCLIS/NFRAP refers to facilities that have been removed and archived from EPA's inventory of CERCLA sites.	0.5	2
ERNS	The Emergency Response Notification System (ERNS) is a listing compiled by the EPA on reported releases of petroleum and hazardous substances to the air, soil and/or water.	Site	0
IC / EC	A listing of sites with institutional and/or engineering controls in place. IC include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls. EC include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.	Site	0
NPL	The NPL is the EPA's database of uncontrolled or abandoned hazardous waste facilities that have been listed for priority remedial actions under the Superfund Program.	1	0
NPL (Delisted)	The NPL (Delisted) refers to facilities that have been removed from the NPL.	0.5	0
RCRA CORRACTS/ TSD	The EPA maintains a database of RCRA facilities associated with treatment, storage, and disposal (TSD) of hazardous waste that are undergoing "corrective action." A "corrective action" order is issued when there has been a release of hazardous waste or constituents into the environment from a RCRA facility.	1	0
RCRA Generators	The RCRA Generators database, maintained by the EPA, lists facilities that generate hazardous waste as part of their normal business practices. Generators are listed as either large (LQG), small (SQG), or conditionally exempt (CESQG). LQG produce at least 1000 kg/month of non-acutely hazardous waste or 1 kg/month of acutely hazardous waste. SQG produce 100-1000 kg/month of non-acutely hazardous waste. CESQG are those that generate less than 100 kg/month of non-acutely hazardous waste.	Site and adjoining properties	1
RCRA Non-CORRACTS/ TSD	The RCRA Non-CORRACTS/TSD Database is a compilation by the EPA of facilities which report storage, transportation, treatment, or disposal of hazardous waste. Unlike the RCRA CORRACTS/TSD database, the RCRA Non-CORRACTS/TSD database does not include RCRA facilities where corrective action is required.	0.5	0

State/Tribal Databases

Database	Description	Radius (miles)	Listings
AUL	Activity and use limitations include both engineering controls and institutional controls. DEUR: Declaration of Environmental Use Restriction. A restrictive land use covenant that is required when a property owner elects to use an institutional (i.e., administrative) control or engineering (i.e., physical) control as a means to meet remediation goals. The DEUR runs with and burdens the land, and requires maintenance of any institutional or engineering controls	Site	0
Brownfields	State and/or Tribal listing of Brownfield properties addressed by Cooperative Agreement Recipients or Targeted Brownfields Assessments.	0.5	16
LUST	State and/or Tribal database of leaking underground storage tanks in the state of Arizona.	0.5	16
SHWS	The ADEQ Zip Acids List (state equivalent to CERCLIS) contains locations subject to investigations concerning possible contamination of soil, surface water, or groundwater. Inclusion of any facility or site on this list does not mean that the location is contaminated, is causing contamination, or is in violation of State or Federal statutes or regulations. The list has been archived and will no longer be distributed or updated.	0.5	16
SPILLS	The ADEQ maintains a logbook of chemical spills and incidents referred to the Emergency Response Unit.	Site	0
SPL	The Arizona Department of Environmental Quality (ADEQ) maintains a database representative of the sites and potential sites within the jurisdiction of the Superfund Program Section. It is comprised of the following elements: 1) Water Quality Assurance Revolving Fund Registry Sites; 2) Potential WQARF Registry sites; 3) NPL sites; and 4) Department of Defense sites requiring SPS oversight. State equivalent to CERCLIS.	1	2
SWF/LF	State and/or Tribal database of solid waste facilities located within Arizona. The database information may include the facility name, class, operation type, area, estimated operational life, and owner.	0.5	0
UST	State and/or Tribal database of registered storage tanks in the State of Arizona which may include the owner and location of the tanks.	Site and adjoining properties	18
VCP	State and/or Tribal facilities included as Voluntary Cleanup Program sites.	0.5	2
WQARF	The ADEQ maintains a database of sites that may have an actual or potential impact upon the waters of the State, caused by hazardous substances. The Water Quality Assurance Revolving Funds (WQARF) program provides matching funds to political subdivisions and other State agencies for clean-up activities. State equivalent to NPL.	1	2

In addition to the above ASTM-required listings, Terracon reviewed other federal, state, local, and proprietary databases provided by the database firm. A list of the additional reviewed databases is included in the regulatory database report included in Appendix D.

The following table summarizes the site-specific information provided by the database and/or gathered by this office for facilities identified within a 500-foot radius of the site. Facilities are listed in order of proximity to the site. Additional discussion for up-gradient facilities located within a 200-foot radius of the site follows the summary table.

Listed Facilities

Facility Name And Location	Estimated Distance/Direction/Gradient	Database Listings
7 th Street & Arizona Avenue	Regional area including the Site	AZ WQARF, SPL
Wilson Bros Garage 58 E. 5 th Street	Site	EDR US Hist Auto Stat
Kv 33 Corp 56 E. 5 th Street	Site	UST
Milex Auto Service Centers Milex Five Star Auto & Truck Serv 600 N. Stone Avenue	65 feet / N / down-gradient	EDR US Hist Auto Stat, UST, FINDS, RCRA NonGen / NLR
Arizona Auto Refrigeration Heap & Manly Tires Dewey S Tune Up Serv 549 N. Stone Avenue	65 feet / W / cross-gradient	EDR US Hist Auto Stat, UST
Goodman V H 524 N. Stone Avenue	65 feet / S / up-gradient	EDR US Hist Auto Stat
530 N. 7 th Avenue	70 feet / E / cross-gradient	EDR US Hist Auto Stat
Payne S L C Chevron Sta Wakefield Investments 107 E. 6 th Street	100 feet / SE / up-gradient	EDR US Hist Auto Stat, LUST, UST
Diaz S Garage 527 N. Stone Avenue	140 feet / SW / cross-gradient	EDR US Hist Auto Stat
White S Pete Garage Rear 616 N. Stone Avenue	145 feet / N / down-gradient	EDR US Hist Auto Stat
516 N. Ash Avenue 117-04-209	150 feet / WSW / cross-gradient	UST
Vaught A T 520 N. Stone Avenue	160 feet / S / up-gradient	EDR US Hist Auto Stat
Motor Menders Purcell Tire Co 601 N. Stone Avenue	180 feet / NW / down-gradient	EDR US Hist Auto Stat, UST
Schutmann Serv St 607 N. Stone Avenue	200 feet / NW / down-gradient	EDR US Hist Auto Stat

Facility Name And Location	Estimated Distance/Direction/Gradient	Database Listings
Youngblood J N Holloway S Garage 11 E. 6 th Street	200 feet / SW / cross-gradient	EDR US Hist Auto Stat
Conns Pioneer Service Curry Garage 20 W. 5 th Street	210 feet / WNW / cross-gradient	EDR US Hist Auto Stat
Tucson Steam Laundry 25-41 E. 6 th Street 25/27 E. 6 th Street 41 E. 6 th Street	210 feet / S / up-gradient	EDR US Hist Auto Stat, EDR US Hist Cleaners, FINDS, US BROWNFIELDS
Tucson Laundry and Drycleaners Vacant Property 48 E. 6 th Street	210 feet / S / up-gradient	EDR US Hist Cleaners, UST, DRYCLEANERS
Brousse Frank 15 E. 6 th Street	210 feet / S / cross-gradient	EDR US Hist Auto Stat
Shell Oil Co 502 N. Stone Avenue	255 feet / SW / cross-gradient	EDR US Hist Auto Stat
Schumann Serv Sta Tanno's Auto Detailing 503 N. Stone Avenue	295 feet / SW / cross-gradient	EDR US Hist Auto Stat, UST
Maxwell S Wheel Alignment 131 E. 6 th Street	300 feet / ESE / up-gradient	EDR US Hist Auto Stat
Brake Serv Co 34 W. 6 th Street	300 feet / WSW / cross-gradient	EDR US Hist Auto Stat
Bonded Coin Washer Service 632 N. 7 th Avenue	310 feet / NNE / down-gradient	EDR US Hist Cleaners
610 N. 9 th Avenue	325 feet / WNW / down-gradient	EDR US Hist Auto Stat
Veith S Signal Serv Arizona Truckoutfitters 649 N. Stone Avenue	350 feet / NW / down-gradient	EDR US Hist Auto Stat, UST
Davis Andy 638 N. 7 th Avenue	360 feet / NNE / cross-gradient	EDR US Hist Auto Stat
Bryan Fred 547 N. 6 th Avenue	375 feet / E / cross-gradient	EDR US Hist Auto Stat
Snow Cleaning Works 523 N. 6 th Avenue	375 feet / E / cross-gradient	EDR US Hist Cleaners, DRYCLEANERS
Star Cycle 549 N. 6 th Avenue	375 feet / E / cross-gradient	EDR US Hist Auto Stat
Zenith Cleaners 543 N. 6 th Avenue	375 feet / E / cross-gradient	DRYCLEANERS
Barker S Garage 135 E. 6 th Street	390 feet / SE / up-gradient	EDR US Hist Auto Stat

Facility Name And Location	Estimated Distance/Direction/Gradient	Database Listings
Miller Auto Co 137 E. 6 th Street	390 feet / SE / up-gradient	EDR US Hist Auto Stat
Sixth & 6Th Auto Serv 507 N. 6 th Avenue	390 feet / ESE / up-gradient	EDR US Hist Auto Stat
Vincent S Garage 509 N. 6 th Avenue	390 feet / ESE / up-gradient	EDR US Hist Auto Stat
Downtown Garage Rainbow Auto Painting 501 N. 6 th Avenue	390 feet / ESE / up-gradient	EDR US Hist Auto Stat, FINDS, RCRA NonGen / NLR
Fox Bill Automotive Diagnosis 24 E. 4 th Street	405 feet / N / down-gradient	EDR US Hist Auto Stat
Fox Bill Automotive Diagnosis & Elec 32 E. 4 th Street	405 feet / N / cross-gradient	EDR US Hist Auto Stat
Old Pueblo Shell Serv Old Pueblo Union Service 648 N. Stone Avenue	410 feet / N / cross-gradient	EDR US Hist Auto Stat
Tourist Garage 43 W. 5 th Street	425 feet / W / cross-gradient	EDR US Hist Auto Stat
Cleanwell Cleaners & Dyer 540 E. 9 th Avenue	425 feet / W / cross-gradient	DRYCLEANERS

7th Street & Arizona Avenue WQARF Site

The site is located within the 7th Street and Arizona Avenue WQARF study area, which includes a plume of groundwater known to be contaminated with tetrachloroethene (PCE). According to the 7th Street and Arizona Avenue / Oliver's Cleaners Fact Sheet, the soil beneath the site consists of predominantly of fine-grained sands and silts interbedded with fine grained sediments from ground surface to approximately 80 feet below ground surface (bgs). The interbedded material is underlain by a clay aquitard approximately 12 feet in thickness, forming a perched aquifer. Depth to perched water is approximately 60 to 65 feet bgs. The regional aquifer is encountered at approximately 170 feet bgs. The proposed future use of the site will be multi-family residential apartment buildings; therefore, potential vapor intrusion from PCE-contaminated groundwater constitutes a REC at the site. A copy of the 7th Street and Arizona Avenue / Oliver's Cleaners Fact Sheet is provided at the end of Appendix D.

Wilson Bros. Garage (58 East 5th Street) and Kv33 Corp (56 East 5th Street)

Historical records indicate that the site address of 58 East 5th Street (assigned to APN 117-04-214A) was used interchangeably with the address 56 East 5th Street. Wilson Bros. Garage was identified in the regulatory database as a historical automotive operation at the site for the years 1935 and 1941. Kv33 Corp was identified in the regulatory database report as a UST facility (Facility ID 0-009090). Based on information provided in the EDR report there were four USTs at the site. Three of the USTs were removed from the site in 1986 and one was removed in 1987.

As the USTs were removed prior to the implementation of current ADEQ regulatory protocol and no documentation of closure assessment soil sampling was discovered, the former USTs constitute a REC at the site.

Goodman V H (524 North Stone Avenue)

This former facility, located 65 feet south and hydrogeologically up-gradient from the site, was identified in the regulatory database report as a service station from 1930-1945. Based on the close proximity and up-gradient position relative to the site, this former facility represents a REC to the site.

530 N. 7th Avenue (530 North 7th Avenue)

This facility, located 70 feet east and hydrogeologically cross-gradient from the site, was identified in the regulatory database report as a historical automotive operation (AFR Collision and Refinish) in the year 2012. Based on the regulatory status, apparent topographic gradient, hydrogeological gradient, and depth to groundwater, this facility does not appear to represent a REC to the site at this time.

Payne S L C Chevron Sta and Wakefield Investments (107 E. 6th Street)

This property (107 E. 6th Street), located 100 feet southeast and hydrogeologically up-gradient of the site was identified in the current regulatory database under Payne S L C Chevron Sta and Wakefield Investments. Payne S L C Chevron was identified as an automobile/gasoline service station from 1955-1965. Wakefield Investments was identified as a UST facility (Facility ID 0-007815) and LUST site (LUST ID 560.01). Based on information provided in the EDR report, there was one UST at the property that was removed in 1988. The EDR report further indicates that the LUST case was closed in 1989 with closed soil levels meeting Tier 1 risk based corrective action standards. Based on the regulatory status and depth to groundwater, this former facility does not appear to represent a REC to the site at this time.

Vaught AT (520 North Stone Avenue)

This former facility, located 160 feet south and hydrogeologically up-gradient from the site, was identified in the regulatory database report as a historical automotive repair facility in the year 1935. Based on the distance and depth to groundwater, this former facility does not appear to represent a REC to the site at this time.

The remaining facilities listed in the database report do not appear to represent RECs to the site at this time based upon regulatory status, apparent topographic gradient, apparent hydrogeologic gradient, and/or distance from the site.

Unmapped facilities are those that do not contain sufficient address or location information to evaluate the facility listing locations relative to the site. The report listed twenty-two (22) facilities in the unmapped section. Determining the location of unmapped facilities is beyond the scope of this assessment; however, none of these facilities were identified as the site or adjacent properties. These facilities are listed in the database report in Appendix D.

4.2 Arizona Department of Environmental Quality

The ADEQ web site was searched for USTs listed for the site. Four listings for USTs were identified for the site (Kv 33 Corp, Facility #0-009090) Three USTs were listed as closed by permanent removal in 1986, and one UST was shown as closed by permanent removal in 1987. No LUSTs were listed associated with this facility. The ADEQ was contacted on February 24, 2015 to perform a records search regarding environmental records or information indicating environmental concerns including possible LUSTs incidents and USTs registered for the site. Terracon has not received a reply from the ADEQ at the time of the issuance of this report. Should information of environmental significance be found, an addendum will be issued to this report.

4.3 Local Agency Inquiries

4.3.1 Pima County Tax Assessor

Records from the Pima County Tax Assessor office indicated that the current structures on the site were developed in 1946. The records indicated that parcel number 117-04-214A was connected to the sanitary sewer system in 1937 and 2007.

A copy of the sewer connection record is included in Appendix C.

4.3.2 Fire Department

The City of Tucson Fire Department was contacted by email regarding environmental records or information indicating environmental concerns for the site. Ms. Annette Lopez, Administrator with the City of Tucson Fire Department reported that there were no records of USTs or hazardous materials responses on file for the site.

4.3.3 Planning, Building Permit Records

Terracon reviewed building department records from the Pima County Department of Developmental Services for information indicating RECs on the site. Developmental Services records had occupancy, inspection, and building permit records for the site dating back to the early 1950s. A building permit dated August 1956 for the replacement of one 1,000-gallon gasoline tank with two 2,000-gallon gasoline tanks was found for the portion of the site addressed as 58 East 5th Street. Documentation for the removal of these UST was not found. No additional records of environmental significance were found.

4.4 Records Review Summary

Selected federal and state environmental regulatory databases as well as responses from state and local regulatory agencies were reviewed. The site was identified in the UST and Historic Auto Station regulatory databases.

Historical records indicate that the site address of 58 East 5th Street (assigned to APN 117-04-214A) was used interchangeably with the address 56 East 5th Street. Wilson Bros. Garage was identified in the regulatory database as a historical automotive operation at the site for the years 1935 and 1941. Kv33 Corp was identified in the regulatory database report as a UST facility (Facility ID 0-009090). Based on information provided in the EDR report, there were four USTs at the site. Three of the USTs were removed from the site in 1986 and one was removed in 1987. As the USTs were removed prior to the implementation of current ADEQ regulatory protocol and no closure assessment soil sampling data was discovered, the former USTs on the site constitute a REC at the site.

Portions of the site were identified as being located within the plume boundaries of the 7th Street and Arizona Avenue WQARF study area, where groundwater is known to be contaminated with PCE. The proposed redevelopment of the site includes the construction of residential apartment buildings; therefore, potential vapor encroachment from PCE-contaminated groundwater constitutes a REC at the site.

The Goodman VH facility 65 feet south (up-gradient) of the site was listed in the database report as an automotive service station from 1930-1945. Based on the close proximity and up-gradient position relative to the site, this former facility represents a REC to the site.

Based on distance, environmental setting and/or facility characteristics, the additional identified facilities and inquiry results from the local agencies do not constitute RECs in connection with the site at this time.

5.0 SITE RECONNAISSANCE

5.1 General Site Information

Information contained in this section is based on a visual reconnaissance conducted while walking through the site and the accessible interior areas of structures, if any, located on the site. Exhibit 2 in Appendix A is a Site Diagram of the site. Photo documentation of the site at the time of the visual reconnaissance is provided in Appendix E. Credentials of the individuals planning and conducting the site visit are included in Appendix F.

General Site Information

Site Reconnaissance				
Field Personnel	Kevin T. Woner			
Reconnaissance Date	February 24, 2015			
Weather Conditions	51°F / Overcast with light rain			
Site Contact/Title	Richard Studwell/Owner			
Building Description				
Building Identification	Building Use	Approx. Construction Date	Number of Stories	Approx. Size (ft ²)
Art Studios / Offices	Several art studios and professional offices	1946	One	8,500
Quonset Building	Wood shop and artistic clay shop	1946	One	3,400
Site Utilities				
Drinking Water	Tucson Water Company			
Wastewater	Pima County			

5.2 Overview of Current Site Occupants and Operations

The building on the northwest portion of the site is used by Wet-Media, Inc., a provider of world-wide social networking sites. In addition, the building is used by several local artists as studio and display space. The types of art produced at the site include paintings, weaving, ceramics and digital photography. The building on the northeast portion of the site is used as a wooden furniture manufacturing shop and as an artistic clay figure studio and manufacturing shop with electric and natural gas fired kilns. The wooden furniture manufacturing shop has a spray booth for the application of wood finishes including stain and lacquer. Small quantities of the lacquer and stain are purchased on an as needed basis and no large quantities are stored on the site. Liquid wastes generated from the finishing process and cleaning of the spray guns either volatilize or are cleaned-up using rags.

5.3 Site Observations

The following table summarizes site observations and interviews. Affirmative responses (designated by an "X") are discussed in more detail following the table.

Site Characteristics

Category	Item or Feature	Observed or Otherwise Identified
Site Operations, Processes, and Equipment	Emergency generators	
	Elevators	
	Air compressors	x
	Hydraulic lifts	
	Dry cleaning	
	Photo processing	
	Ventilation hoods and/or incinerators	x
	Waste treatment systems and/or water treatment systems	
	Heating and/or cooling systems	x
	Other processes or equipment	
Aboveground Chemical or Waste Storage	Aboveground storage tanks	
	Drums, barrels and/or containers ≥ 5 gallons	
	MSDS	
Underground Chemical or Waste Storage, Drainage or Collection Systems	Underground storage tanks or ancillary UST equipment	
	Sumps, cisterns, catch basins and/or dry wells	
	Grease traps	
	Septic tanks and/or leach fields	
	Oil/water separators	x
	Pipeline markers	
	Interior floor drains	
Electrical Transformers/PCBs	Transformers and/or capacitors	x
	Other equipment	

Category	Item or Feature	Observed or Otherwise Identified
Releases or Potential Releases	Stressed vegetation	
	Stained soil	
	Stained pavement or similar surface	
	Leachate and/or waste seeps	
	Trash, debris and/or other waste materials	
	Dumping or disposal areas	
	Construction/demolition debris and/or dumped fill dirt	
	Surface water discoloration, odor, sheen, and/or free floating product	
	Strong, pungent or noxious odors	
	Exterior pipe discharges and/or other effluent discharges	
Other Notable Site Features	Surface water bodies	
	Quarries or pits	
	Wells	
	12 Inch concrete patch area	x

Site Operations, Processes, and Equipment

Air compressors

One electric air compressor was observed in the wood shop building. The air compressor was located on concrete flooring. Surficial staining or releases were not observed on or in the vicinity of the air compressor at the time of the visual reconnaissance. The air compressor does not appear to constitute a REC for the site.

Ventilation hoods and/or incinerators

A spray booth for the application of stains and lacquer to wooden furniture was inside the wood shop. Small quantities of lacquer and stain are purchased on an as needed basis and no large quantities are stored on the site. Liquid wastes generated from the finishing process and cleaning of the spray guns reportedly either volatilize or are cleaned-up using rags which are disposed in the dumpster. An air emissions permit is reportedly not required for the spray booth activities on the site. The spray booth does not appear to constitute a REC for the site. However, liquid wastes and used rags associated with the spray booth activities in the site's wood shop should be properly disposed at an appropriate off-site facility.

Heating and/or cooling systems

The office areas of the building on the site are heated and cooled with electric powered roof mounted heating ventilation and air conditioning (HVAC) systems. The wood shop areas are heated with forced air natural gas heaters and cooled with evaporative coolers.

Underground Chemical or Waste Storage, Drainage or Collection Systems

Sump/Oil Water Separator

Two metal grate covered sumps were observed in the wood shop and in the clay shop during the site reconnaissance. The sump dates of construction are unknown, but are believed to have been installed in the late-1940s during the original construction of the building. The sumps have been out of service for several years. Evidence of cracked concrete, staining and surface releases were observed inside and within the vicinity of the sumps at the time of the site reconnaissance. Based on the age of the sumps, prior automotive service activities, and observed conditions, the sumps represents a REC in connection with the site.

Electrical Transformers/PCBs

Transformers and/or capacitors

During Terracon's site visit, one pad-mounted transformer, owned and serviced by Tucson Electric Power (TEP), was observed on the site; however, no information with regard to PCB content of the transformer fluids was observed. Transformers contain mineral oil which may contain minor amounts of PCB and could be considered "PCB contaminated" (PCB content of 50-500 ppm). TEP maintains responsibility for the transformer, and if the transformer was "PCB contaminated," the utility company is not required to replace the transformer fluids until a release is identified. However, no evidence of current or prior release was observed in the vicinity of the electrical equipment during the site reconnaissance. As a result, the transformer does not represent a REC for the site.

Other Notable Site Features

A 12 inch circular concrete patched area was observed inside the wood shop area. This area may be a removed piston associated with a subsurface hydraulic lift or an area where a previous boring was advanced. Mr. Studwell, the owner of the site had no knowledge of this feature. Based on the subsurface nature and unknown use, this feature represents a REC in connection with the site.

5.4 Site Reconnaissance Summary

Based on the site reconnaissance, two out of service sumps inside the wood and clay shops were identified. In addition, a circular 12 inch concrete patched area was observed inside the wood shop. The two sumps and unknown circular concrete patched area represent RECs to the site.

6.0 ADJOINING PROPERTY RECONNAISSANCE

Visual observations of adjoining properties (from site boundaries) are summarized below.

Adjoining Properties

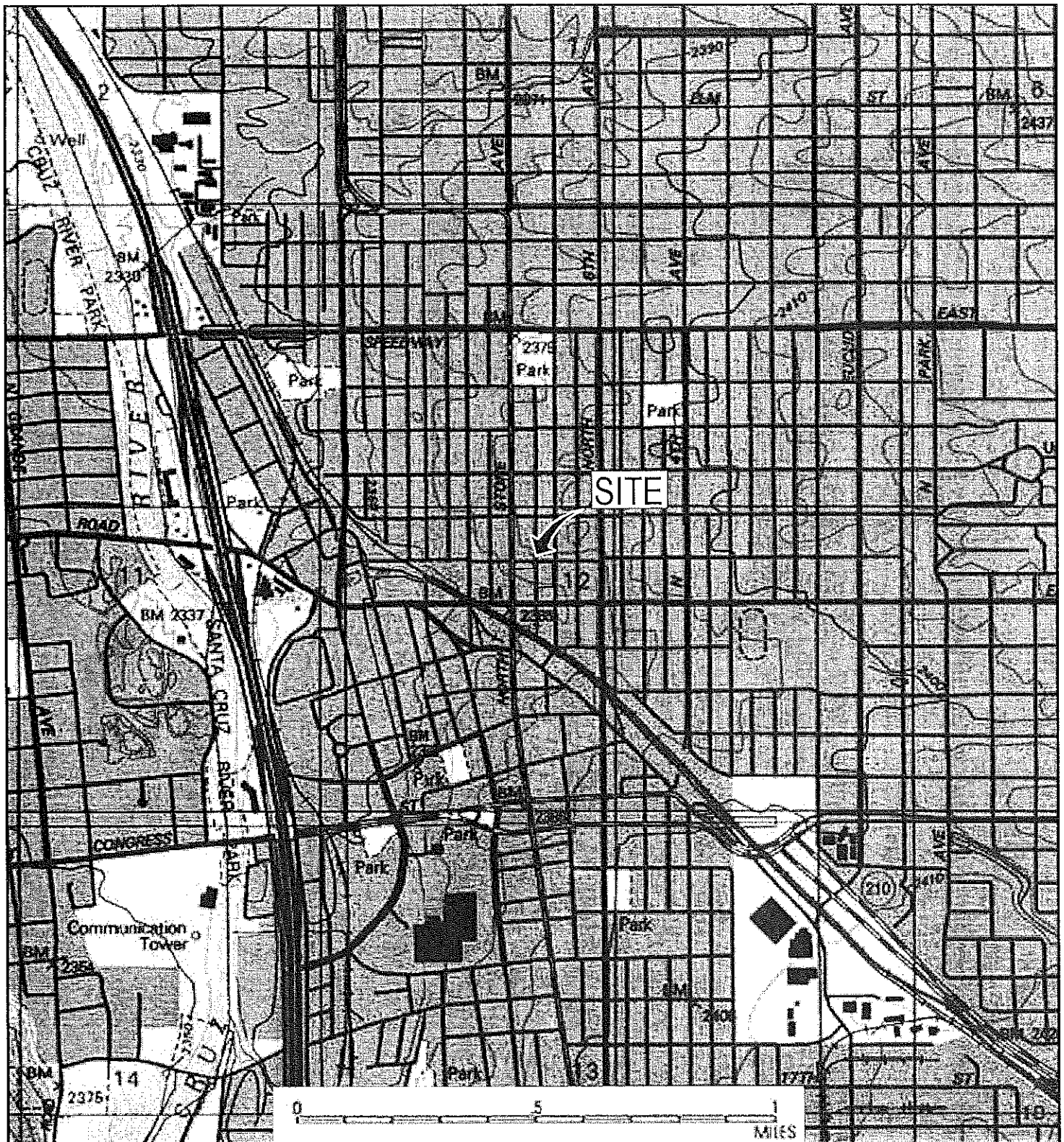
Direction	Description
North	East 5 th Street followed by single-family residences and Primarily Japanese Auto Center
East	North 7 th Avenue followed by single-family residences and AFR Collision and Refinishing Center
South	Alley Art Glass Studio and a vacant commercial structure
West	Vacant land, Arizona Trail Association and Stone Avenue followed by Enterprise Rent-A-Car

Indications of RECs were not observed with the adjoining properties.

7.0 DECLARATION

I, David M. Matson, declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in Section 312.10 of 40 CFR 312; and I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the site. I have developed and performed the All Appropriate Inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

APPENDIX A
EXHIBIT 1 – TOPOGRAPHIC MAP
EXHIBIT 2 – SITE DIAGRAM



LEGEND

— APPROXIMATE SITE BOUNDARY

REF: TUCSON, ARIZONA
7.5-MINUTE USGS MAP,
1996



Project Mgr: KTW Drawn By: JCW Checked By: BMB Approved By: BMB	Project No. 63157026 Scale: AS SHOWN File No. 63157026.dwg Date: 02-2015	<div data-bbox="451 1921 735 2011"> Terracon Consulting Engineers and Scientists </div> <div data-bbox="451 2026 743 2062"> 355 SOUTH EUCLID, SUITE 107 TUCSON, ARIZONA 85719 PH. (520) 770-1788 FAX. (520) 792-2539 </div>	<div data-bbox="971 1921 1182 1948"> TOPOGRAPHIC MAP </div> <div data-bbox="979 1969 1174 2022"> 5TH - 7TH CENTER 58 EAST 5TH STREET </div> <div data-bbox="776 2043 849 2062"> TUCSON </div> <div data-bbox="1304 2043 1377 2062"> ARIZONA </div>	<div data-bbox="1401 1921 1474 1948"> EXHIBIT </div> <div data-bbox="1433 2001 1458 2043"> 1 </div>
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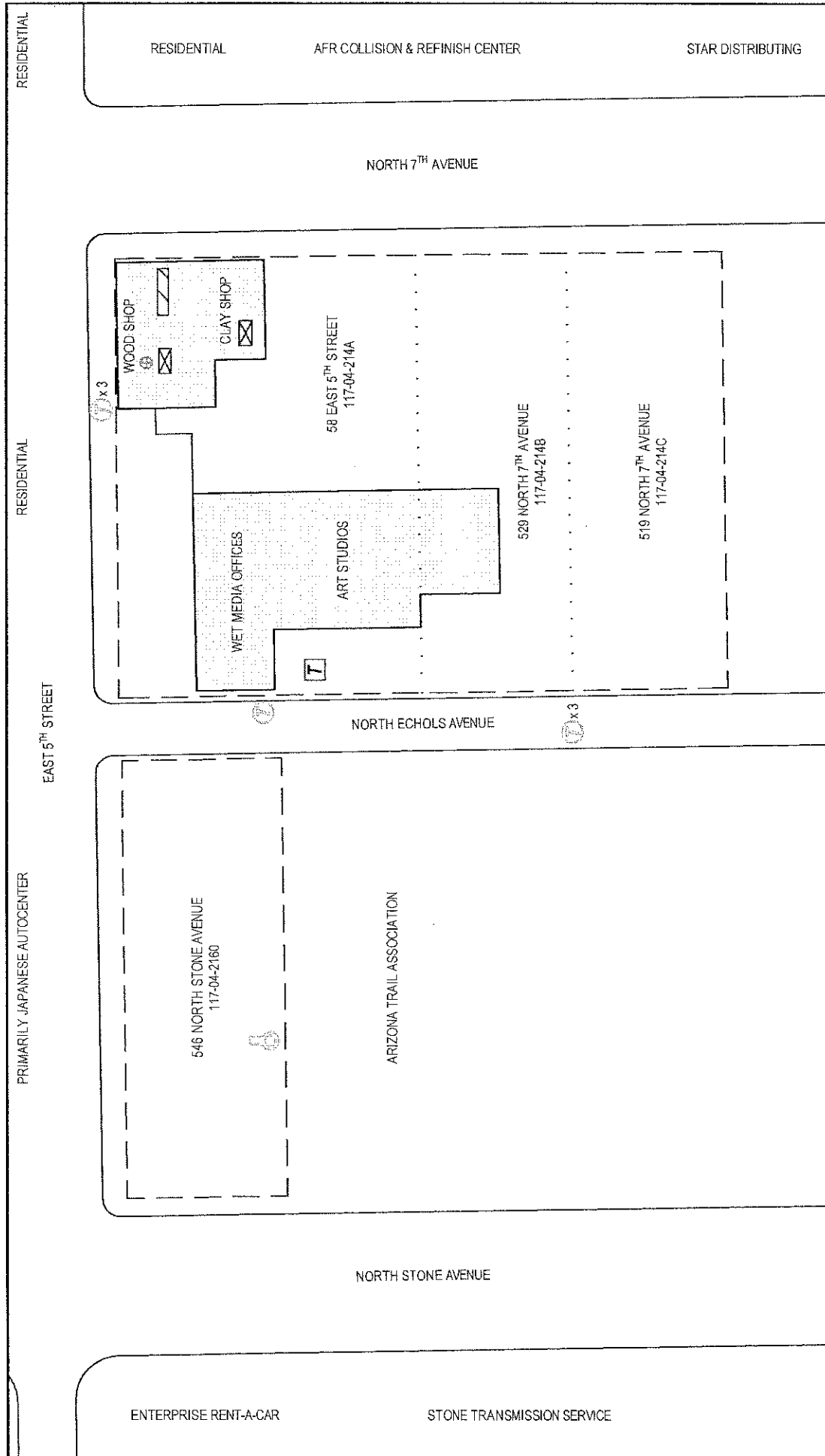


Exhibit <div style="border: 1px solid black; width: 50px; height: 50px; display: flex; align-items: center; justify-content: center; font-size: 24px; margin: 0 auto;">2</div>	
Project No. 63157026 Scale: NONE File No. 63157026.dwg Date: 02-2015	
Project Mgr: KTW Drawn By: JCW Checked By: BMB Approved By: BMB	Project Name: 5TH - 7TH CENTER Address: 58 EAST 5TH STREET City: TUCSON State: ARIZONA

PARTIAL

Limited Site Investigation Report

7th Avenue Commons

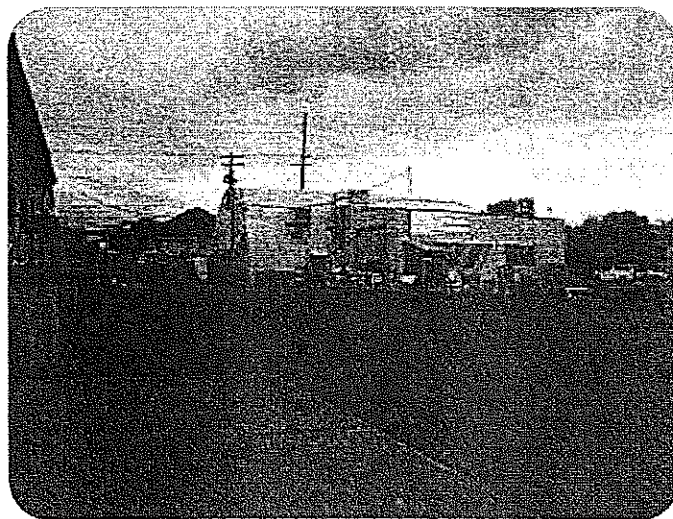
58 East 5th Street and 519/529 North 7th Avenue

APNs 117-04-214A, -214B, and -214C

Tucson, Pima County, Arizona

February 3, 2016

Terracon Project No. 63157137



Prepared for:
Gardner Capital Development, LLC
St. Louis, Missouri

Prepared by:
Terracon Consultants, Inc.
Tucson, Arizona

terracon.com

Terracon

Environmental



Facilities



Geotechnical



Materials



February 3, 2016

Mr. Michael Gardner
Gardner Capital Development, LLC
800 Maryland Avenue, Suite 910
St. Louis, Missouri 63105
c/o Reid Butler
Butler Housing Company, Inc.

Telephone: (314) 561-5900
E-mail: Michael@gardnercapital.com

Re: **Limited Site Investigation**
Subsurface Soil and Soil Vapor Sampling
7th Avenue Commons
58 East 5th Street and 519/529 North 7th Avenue
Tucson, Arizona 85705
Project No. 63157137

Dear Mr. Gardner:

Terracon Consultants, Inc. (Terracon) is pleased to submit this Limited Site Investigation (LSI) Report for the above referenced site to Gardner Capital Development, LLC (client). Terracon performed subsurface soil sampling and soil vapor sampling at the site on December 30 and 31, 2015 in general accordance with our proposal and Agreement for Services dated June 3, 2015 (Terracon Proposal No. P63150153) and signed by the client on December 17, 2015.

We appreciate the opportunity to be of service to you on this project. Please contact the undersigned at 520-770-1789 if you have any questions regarding this document.

Sincerely,

Terracon

Derek Koller
Project Manager

Dave M. Matson, CHMM
Environmental Department Manager
Senior Associate

TABLE OF CONTENTS

	Page No.
1.0 INTRODUCTION	1
1.1 Site Description	1
1.2 Scope of Work	1
1.3 Standard of Care	3
1.4 Additional Scope Limitations	3
1.5 Reliance	4
1.6 Conflict Certification	4
2.0 FIELD ACTIVITIES	4
2.1 Health and Safety Plan	4
2.2 Soil Gas Sampling (RECs 1, 2, and 5)	5
2.3 Sub-Grade Soil Sampling (REC 2)	7
2.4 Sub-Slab Soil Sampling (RECs 3 and 4)	8
2.5 Photoionization Detector	9
2.6 Methanol Preservation	9
2.7 Decontamination Procedures	9
2.8 Investigation-Derived Waste (IDW)	9
3.0 ANALYTICAL LABORATORY PROGRAM	10
4.0 SAMPLING RESULTS AND EVALUATION	10
4.1 Soil Gas Sampling Result Summary	10
4.2 Sub-Slab Soil Sampling Results	11
4.3 Sub-Grade Soil Sampling Results	12
4.4 Quality Assurance / Quality Control Evaluation	12
5.0 FINDINGS, CONCLUSIONS, AND RECOMMENDATIONS	13
Findings and Conclusions	13
Recommendations	13

TABLE OF CONTENTS

APPENDICES

APPENDIX A – EXHIBITS

Exhibit 1 – Boring Locations Diagram

Exhibit 2 – Site Plan

APPENDIX B – TABLES

Table 1 – Summary of Soil Vapor Analytical Results Compared to EPA RSLs

Table 2 – Summary of Detected Constituents Compared to ADEQ Soil Remediation Levels

Sub-Slab Samples: Polynuclear Aromatic Hydrocarbons

Table 3 – Summary of Detected Constituents Compared to ADEQ Soil Remediation Levels

Sub-Slab Samples: RCRA 8 Metals

Table 4 – Summary of Detected Constituents Compared to ADEQ Soil Remediation Levels

Sub-Grade Samples: RCRA 8 Metals

APPENDIX C – BORING LOGS

APPENDIX D – ANALYTICAL REPORTS AND CHAIN OF CUSTODY

1.0 INTRODUCTION

1.1 Site Description

Site Name	7th Avenue Commons
Site Location/Address	58 East 5th Street and 519/529 North 7th Avenue, Tucson, Arizona
Land Area	Approximately 1.13 acres.
Site Improvements	The site is developed with an approximate 3,400 square foot Quonset building, located on the northeast portion of the site, and two connected buildings totaling approximately 9,000 square feet which are located on the western portion of the site. The remainder of the site is undeveloped and/or paved.

It is Terracon's understanding proposed redevelopment at the site will consist of an apartment complex. Terracon further understands that the buildings west of the Quonset building will remain and be used in conjunction with the new development. Terracon understands that Quonset building was slated to be demolished, but now may be extensively renovated and repurposed as part of the new development.

1.2 Scope of Work

Previous Investigation

A Phase I Environmental Site Assessment (ESA) Report was completed by Terracon and submitted to the client on February 37, 2015 (Terracon Project No. 63157026). The Terracon Phase I ESA Report covered the site addressed in this LSI report and the vacant lot located west of the north portion of the site (APN 117-04-2160). The Phase I ESA identified the following recognized environmental conditions (RECs) in connection with the site:

- **REC 1:** This site is within the 7th Street and Arizona Avenue groundwater plume. The groundwater beneath the site is estimated to be at a depth of approximately 175 feet below ground surface (bgs) and is not used for drinking purposes. The Tucson Water Company provides municipal water to the site from other sources which meet federal and state drinking water standards. The Responsible Parties have been identified and are cooperating in the cleanup relating to the plume. The proposed future use of the site will be multi-family residential apartment buildings; therefore, potential vapor intrusion from PCE-contaminated groundwater constitutes a REC at the site.
- **REC 2:** As a result of the historical review of the site and adjoining areas, Terracon identified historical tanks, historical automotive repair operations, and former dry cleaning operations with in the vicinity of the site that may have impacted soil or soil vapor at the site. These historic uses constitute a REC for the site.

Limited Site Investigation

7th Avenue Commons ■ Tucson, Arizona

February 3, 2016 ■ Terracon Project No. 63157137



- **REC 3:** Two metal grate covered oil water separators (sumps) were observed in the wood shop and in the clay shop during the site reconnaissance. The sumps' dates of construction are unknown, but they are believed to have been installed in the 1940s during the original construction of the building. The sumps have been out of service for several years. Evidence of cracked concrete, staining and surface releases was observed inside and within the vicinity of the sumps at the time of the site reconnaissance. Based on the age of the sumps and observed conditions, the sumps represent a REC in connection with the site.
- **REC 4:** A circular 12 inch concrete patched area was observed inside the wood shop area. This area may be a removed piston associated with a subsurface hydraulic lift or an area where a previous boring was advanced. Mr. Studwell, the owner of the site had no knowledge of this feature. This unknown circular concrete patched area represents a REC to the site.
- **REC 5:** Gasoline USTs were historically on the site. Records obtained from the City of Tucson Development Services Department indicate that in 1956 a 1,000-gallon gasoline UST was replaced with two 2,000-gallon gasoline USTs. The EDR Report did indicate that three USTs were removed in 1986 and one UST was removed in 1987. Complete records of the removal and subsequent soil sampling for these USTs were not found. These former USTs represent a REC to the site.

To address the RECs identified in Terracon's Phase I ESA Report, Terracon developed the following scope of work:

Task 1 – Underground Utility Location

Prior to conducting the field investigation, Terracon contacted Arizona 811 to arrange for public underground utility locates at the site. Additionally, Terracon subcontracted a private utility locator to aid in line location prior to intrusive activities.

Task 2 – Soil Gas Sampling – RECs 1, 2, and 5

Terracon proposed to conduct soil gas sampling at the site to address potential soil vapor impacts from the 7th Street and Arizona Avenue groundwater plume, historical automotive maintenance operations, and former USTs at the site.

Specifically, Terracon proposed to collect two interior sub-slab soil gas samples, two exterior sub-grade soil gas samples, and one ambient air sample. The soil gas samples and ambient air sample were analyzed for drycleaning-related solvents (perchloroethylene [PCE], Trichloroethylene [TCE], dichloroethane [DCE], and vinyl chloride) and petroleum-related volatile organic compounds (VOCs) (benzene, ethylbenzene, toluene, and xylene) by EPA Method TO-15.

Task 3 – Sub-Grade Soil Sampling – REC 2

Terracon proposed to perform soil sampling at the site to address potential impacts from historical automotive maintenance operations.

Specifically, Terracon proposed to advance four borings to a depth of 5-feet below ground surface (bgs) (or auger refusal) in areas potentially impacted by historical automotive operation. These soil samples were to be analyzed for VOCs by EPA Method 8260, polynuclear aromatic hydrocarbons (PAHs) by EPA Method 8270SIM, and RCRA 8 Metals by EPA Method 6010/7470.

Task 4 – Sub-Slab Soil Sampling – RECs 3 and 4

Terracon proposed to perform sub-slab soil sampling to address potential impacts from historical automotive maintenance operations as they relate to the two sumps and potential former hydraulic lift located within the Quonset building at the site.

Specifically, Terracon proposed to core the concrete and advance borings in the following three locations within the Quonset Building: In close proximity to the north sump, the south sump, and the potential former hydraulic lift. The borings located in the vicinity of the sumps were advanced to a depth of 3-feet bgs (auger refusal) and the boring located adjacent to the potential lift was advanced to a depth of 12-feet bgs. These soil samples were analyzed for VOCs by EPA Method 8260, PAHs by EPA Method 8270SIM, and RCRA 8 Metals by EPA Method 6010/7470. In addition, the soil sample collected from the boring located in close proximity to the potential former hydraulic lift was also analyzed for polychlorinated biphenyls (PCBs) by EPA Method 8082.

The site features are illustrated on the Site Plan in Exhibit 1 in Appendix A. A client-provided figure of the proposed new development is provided in Exhibit 2, Appendix A.

1.3 Standard of Care

Terracon's services were performed in a manner consistent with generally accepted practices of the profession undertaken in similar studies in the same geographical area during the same time period. Terracon makes no warranties, either expressed or implied, regarding the findings, conclusions or recommendations. Please note that Terracon does not warrant the work of laboratories, regulatory agencies or other third parties supplying information used in the preparation of the report. These services were performed in accordance with the scope of work agreed with you, our client, as set forth in our proposal, and were not intended to be in strict conformance with ASTM E 1903-11.

1.4 Additional Scope Limitations

Findings, conclusions and recommendations resulting from these services are based upon information derived from the on-site activities and other services performed under this scope of work; such information is subject to change over time. Certain indicators of the presence of

Limited Site Investigation

7th Avenue Commons ■ Tucson, Arizona

February 3, 2016 ■ Terracon Project No. 63157137



hazardous substances, petroleum products, or other constituents may have been latent, inaccessible, unobservable, non-detectable or not present during these services, and we cannot represent that the site contains no hazardous substances, toxic materials, petroleum products, or other latent conditions beyond those identified during this investigation. Subsurface conditions may vary from those encountered at specific borings or wells or during other surveys, tests, assessments, investigations or exploratory services; the data, interpretations, findings, and our recommendations are based solely upon data obtained at the time and within the scope of these services.

1.5 Reliance

This LSI Report has been prepared for the exclusive use and reliance of Gardner Capital Development, LLC and Butler Housing Company, Inc. Use or reliance by any other party is prohibited without the written authorization of Gardner Capital Development, LLC and Terracon. Reliance on the report by the client will be limited to terms, conditions, and limitations stated in our proposal and Agreement for Services dated June 3, 2015 (Terracon Proposal No. P63150153) and signed by the client on December 17, 2015.

1.6 Conflict Certification

Consultant has no present or contemplated future ownership interest or financial interest in the real estate that is the subject of this LSI Report, no personal interest with respect to the subject matter of the LSI Report or the parties involved, and no relationship with the property or the owners thereof which would prevent an independent analysis of the environmental or other conditions of the property.

2.0 FIELD ACTIVITIES

2.1 Health and Safety Plan

A Site Health and Safety Plan (HASP) was developed to document potential health concerns associated with proposed site activities, health hazards associated with the contaminants anticipated to be encountered, and identify emergency response procedures and personnel responsibility in the event of an emergency response. The HASP was prepared per Occupational Safety and Health Administration (OSHA) requirements (29 CFR 1910.120). Work was performed using OSHA Level D work attire consisting of hard hats, safety glasses, protective gloves, and protective boots.



At Terracon, we all have a personal and uncompromising commitment to everyone going home safely each and every day. Our safety program, *Incident and Injury Free*® (IIF) is about care and concern for people. It is our personal and organizational commitment at all levels of the company and is

where safety is held as a core value as well as an operational priority. Working safely is an inseparable part of working correctly, just as much as other operational priorities, in particular quality, profitability and schedule. As part of our IIF process, we prepared a "Pre-Task Plan" to identify the potential site safety and job hazards associated with the work we proposed at this site. Prior to commencement and during the on-site activities, we re-evaluated potential job hazards and appropriate safe working procedures. A tailgate safety meeting was held by Terracon prior to site access and field work. Onsite workers signed the safety meeting attendance sheet.

2.2 Soil Gas Sampling (RECs 1, 2, and 5)

Interior Sub-slab Sample Point Installation

On December 30, 2015, Terracon installed two vapor probe tips within the structure located on the western portion of the site which Terracon understands will be renovated into a two-story apartment building and used in conjunction with the new development (Please note that Terracon did not install soil vapor sampling points within the footprints of the other proposed buildings because it is our understanding that the first floor of those structures will not be used as living space). The approximate locations of the interior sampling points are illustrated on Exhibit 1 and were as follows:

- SV-1 was installed underneath the slab within an interior art studio of the two interconnected structures on the west portion of the site (approximately 10 feet west of the east wall and approximately 55 feet south of the northern end of the structure).
- SV-2 was installed underneath the slab within an interior storage room of the two interconnected structures on the west portion of the site (approximately 10 feet west of the east wall and approximately 45 feet north of the southern end of the structure).

To install the two interior vapor probe tips, the concrete slab was penetrated to soil with a drill to approximately six-inches below the bottom of the slab. A stainless steel vapor probe tip was attached to Tygon tubing which was inserted into the drill hole and surrounded with clean silica sand. The remainder of the borehole was backfilled with quick dry concrete patch and molding clay was used to seal the borehole at slab level. The open end of the tubing at the surface was capped to prevent entry of ambient air into the vapor probe. During the 24-hour stabilization period, orange buckets with 'Do Not Disturb' notes provided by the landlord were set over the sample connection points in order to protect them.

Exterior Sub-grade Sample Point Installation

On December 30, 2015, Terracon installed two vapor probe tips within the footprint of the proposed two-story apartment building. The approximate locations of the interior sampling points are illustrated on Exhibit 1 and were as follows:

Limited Site Investigation

7th Avenue Commons ■ Tucson, Arizona

February 3, 2016 ■ Terracon Project No. 63157137

Terracon

- SV-3 was installed at a latitude of approximately 32.22885° North and a longitude of approximately 110.97050° West
- SV-4 was installed at a latitude of approximately 32.22852° North and a longitude of approximately 110.97083° West

To install the exterior vapor probe tips, Terracon used a hollow stem auger drill rig to advance the borings to a depth of approximately 5-feet bgs. Terracon then installed a temporary sampling point in each 5-foot borehole to collect subsurface soil gas samples. The construction materials consisted of a polyethylene vapor probe tip attached to Tygon tubing. The vapor points were set at a depth of approximately 5-feet bgs within the boreholes and surrounded by silica sand. The top of the sand layer was then sealed with hydrated bentonite to 3-6 inches below surface grade. The open end of the tubing at the surface was capped to prevent entry of ambient air into the vapor probe. During the 24-hour stabilization period, orange cones were set over the sample connection points in order to protect them.

Soil Gas Sample Collection

Soil gas samples were collected on December 31, 2015, after a stabilization period of approximately 24 hours. To ensure the integrity of the sampling train, the following steps were taken for the sub-slab and sub-grade sampling points:

- Vapor samples were collected using laboratory-supplied and evacuated 1-liter Summa canisters that were pre-tested and individually-certified as being free of contaminants of concern by the analytical laboratory.
- The Summa canisters were connected to the sampling ports using dedicated Tygon sample tubing and were equipped with laboratory-supplied and -calibrated flow regulators allowing for sample collection at a flow rate of less than or equal to 200 milliliters per minute (ml/min).
- Prior to soil gas sample collection, the soil gas sampling point and sampling train was tested for leaks using a shroud filled with helium tracer gas. Approximately three 500-ml volumes were purged from the soil gas sampling point through the sample train tubing prior to sample collection. The purged gas was collected into Tedlar[®] bags using a peristaltic pump. These volumes were tested for the presence of helium with a Helium meter (MGD-2002[®]) to confirm the tightness of the sample train and port. Helium tracer gas was only detected in a concentration of 0.0007% in the first purged volume from sampling point SV-1 and in a concentration of 0.0012% in the second purged volume from sampling point SV-2. The other purged volumes did not contain a detectable amount of helium.
- Once the integrity of the sampling point and train had been verified, samples were collected at the sub-slab and sub-grade sampling points (Samples SV-1 through SV-4) by opening the flow regulator valve and noting the beginning vacuum pressure on the

Limited Site Investigation

7th Avenue Commons ■ Tucson, Arizona

February 3, 2016 ■ Terracon Project No. 63157137



regulator gauge for each Summa canister. Sampling continued until the vacuum pressure on the regulator gauge was near 1 pound per square inch (psi). At that time the flow regulator was closed. Sampling times were approximately five minutes.

- One (1) ambient air sample (AMB-1) was also collected from the site exterior for comparison purposes and as an additional quality control measure for the project.
- Upon completion of soil gas sample collection, the Summa canisters were closed, secured, and appropriately labeled with pertinent sample information.
- Soil gas samples collected during the investigation were shipped overnight to ESC Lab Sciences (ESC) using standard chain-of-custody procedures.

2.3 Sub-Grade Soil Sampling (REC 2)

A total of four (4) soil borings (S-1 through S-4) were advanced on December 30, 2015. The approximate locations of the exterior sampling points are illustrated on Exhibit 1 and were as follows:

- S-1 was installed at a latitude of approximately 32.22872° North and a longitude of approximately 110.97059° West.
- S-2 was installed at a latitude of approximately 32.22868° North and a longitude of approximately 110.97048° West.
- S-3 was installed at a latitude of approximately 32.22864° North and a longitude of approximately 110.97058° West.
- S-4 was installed at a latitude of approximately 32.22859° North and a longitude of approximately 110.97049° West.

The exterior borings were advanced to approximately 6-feet bgs. Drilling services were performed by Geomechanics Southwest, Inc. (GSI); a State of Arizona licensed driller, using a truck-mounted CME 75 hollow stem auger drilling rig under the supervision of Terracon field personnel and soil samples were collected using a California modified split-spoon sampler.

Three soil samples were collected from each boring at depths of approximately 1 to 2, 3 to 4, and 5 to 6 feet bgs. While conducting drilling, Terracon operated and maintained a PID as outlined in Section 2.5. The boring logs are provided in Appendix C.

Samples for VOC analysis were retrieved immediately from the split-spoon sampler and preserved in the field with methanol using the protocol outlined in Section 2.6. Samples collected for PAH, and RCRA 8 Metal analysis were placed into 4-ounce (oz.) glass jars provided by the analytical laboratory. The 4-oz. glass jars were filled to the top, with care taken to prevent soil from remaining in the lid threads prior to being closed to prevent potential contaminant migration to or from the sample. Soil samples were placed on ice and submitted to the laboratory.

Limited Site Investigation

7th Avenue Commons ■ Tucson, Arizona

February 3, 2016 ■ Terracon Project No. 63157137



Because the PID readings of the collected soils were all 0.0 and no other field evidence of impact was noted during sampling, Terracon selected only the deepest soil sample from each boring (S-1 5', S-2 5', S-3 5', S-4 5') for laboratory analysis. The laboratory held the remaining samples until the initial analytical reports could be reviewed.

Prior to conducting sampling and between sampling events, Terracon used the decontamination procedures outlined in Section 2.7.

2.4 Sub-Slab Soil Sampling (RECs 3 and 4)

On December 30, 2015, GSI cored the concrete slab and three interior soil borings (N SUMP, S SUMP, and LIFT) were advanced in the Quonset building located on the northeast portion of the site. The approximate locations of the interior sampling points are illustrated on Exhibit 1 and were as follows:

- N SUMP was installed at a latitude of approximately 32.22882° North and a longitude of approximately 110.97049° West.
- S SUMP was installed at a latitude of approximately 32.22875° North and a longitude of approximately 110.97044° West.
- LIFT was installed at a latitude of approximately 32.22885° North and a longitude of approximately 110.97050° West

Drilling services for boring N SUMP and LIFT were performed by GSI using a Bobcat-mounted 'Big Beaver' hollow stem auger drilling rig under the supervision of Terracon field personnel and soil samples were collected using a California modified split-spoon sampler. Boring S SUMP was advanced by Terracon field personnel using a hand-auger which was also used to collect samples.

Terracon originally intended on advancing borings N SUMP and S SUMP to a depth of 6 feet bgs and collecting samples at 3 to 4 feet bgs and 5 to 6 feet bgs. However, auger refusal was encountered at 4-feet bgs at boring N SUMP and 2.5-feet bgs at boring S SUMP. Therefore, Terracon only collected one soil sample from each of these two borings. The soil sample collected from N SUMP was collected at a depth of approximately 3 to 4 feet bgs and the soil sample collected from S SUMP was collected at a depth of approximately 2 to 2.5 feet bgs.

Three soil samples were collected from boring LIFT at depths of approximately 4 to 5, 8 to 9 and 12 to 13 feet bgs. While conducting drilling, Terracon operated and maintained a PID as outlined in Section 2.5. The boring logs are provided in Appendix C.

Samples for VOC analysis were retrieved immediately from the split-spoon sampler and preserved in the field with methanol using the protocol outlined in Section 2.6. Samples collected for PAH, PCB, and/or RCRA 8 Metal analysis were placed into 4-ounce (oz.) glass jars provided by the analytical laboratory. The 4-oz. glass jars were filled to the top, with care taken

to prevent soil from remaining in the lid threads prior to being closed to prevent potential contaminant migration to or from the sample. Soil samples were placed on ice and submitted to the laboratory.

Prior to conducting sampling and between sampling events, Terracon used the decontamination procedures outlined in Section 2.7.

2.5 Photoionization Detector

During field operations, Terracon field personnel operated and maintained a PID. The PID was held near the boreholes during advancement and used to screen soil samples. While collecting samples for laboratory analysis, additional soil was bagged and screened with the PID. Elevated readings were not encountered during field activities; the PID responses remained low with readings of 0.0 parts per million (ppm) for the duration of the field activities.

2.6 Methanol Preservation

Samples collected for VOC analysis were preserved in the field using methanol. Approximately 5 grams of soil was removed directly from the split-spoon sampler or hand auger immediately upon retrieval using a Terracore or equivalent sampler. The sample was placed into a 40 milliliter (mL) volatile organic analysis (VOA) sample vial containing methanol, and caution was taken not to spill the methanol or get soil particles on the rim of the sample vial. The sample was gently agitated such that the soil was completely immersed in the methanol.

2.7 Decontamination Procedures

Decontamination procedures were conducted in accordance with ASTM D5088-15a, Standard Practice for Decontamination of Field Equipment Used at Waste Sites. Non-dedicated sampling equipment (e.g., split-spoon samplers, hand-auger, etc.) were cleaned using an Alconox[®] detergent wash and deionized water rinse at the commencement of field work and between sample collection events.

2.8 Investigation-Derived Waste (IDW)

No investigation-derived waste was generated during this project. Soil cuttings were returned to the borings (with the exception of S-1, which was used to install the soil vapor sampling point SV-3 after soil samples were collected) and any other excess soils were dispersed on the site grounds. Disposable personal protective equipment (PPE), used during the course of the investigation and in the collection of samples, was deemed non-hazardous and disposed of in a municipality-owned garbage receptacle.

3.0 ANALYTICAL LABORATORY PROGRAM

Soil samples were submitted to Environmental Science Corporation (ESC) of Mt. Juliet, Tennessee, an Arizona Department of Health Services (ADHS) licensed analytical laboratory (ADHS License AZ0612), under proper chain of custody (COC) protocol. Please note that not all collected samples were analyzed by the analytical laboratory and further discussion of which samples were analyzed was provided in Sections 2.2 and 2.3). The table below provides a brief summary of the number of samples that were selected for analysis:

Sample Type	Analysis Performed / Method	No. of Samples Analyzed
Soil Gas Samples	Drycleaning-related and petroleum-related VOCs EPA Method TO-15	5
Sub-Grade Soil Samples	VOCs / EPA Method 8260 PAHs / EPA Method 8270SIM RCRA 8 Metals / EPA Method 6010/7471	4
Sub-Slab Soil Samples (Sumps)	VOCs / EPA Method 8260 PAHs / EPA Method 8270SIM RCRA 8 Metals / EPA Method 6010/7471	3
Sub-Slab Soil Samples (Lift)	VOCs / EPA Method 8260 PAHs / EPA Method 8270SIM PCBS / EPA Method 8082 RCRA 8 Metals / EPA Method 6010/7471	1

4.0 SAMPLING RESULTS AND EVALUATION

4.1 Soil Gas Sampling Result Summary

The soil gas samples were analyzed for eleven (11) VOC analytes. Of the 11, six (6) analytes were reported above laboratory detection limits in at least one of the five (SV-1 through SV-4 and AMB-1) soil gas samples collected at the site. The following were detected above laboratory detection limits within at least one of the soil gas samples: PCE, benzene, ethylbenzene, toluene, m&p-xylene, and o-xylene.

Terracon compared the reported concentrations of the above constituents identified in the soil gas samples collected at the site to screening concentrations calculated using the EPAs Vapor Intrusion Screening Level (VISL) Calculator that lists chemicals considered to be volatile and sufficiently toxic through the inhalation pathway; and provides VISLs for groundwater, soil gas and indoor air, which are generally recommended, media-specific, risk-based screening-level concentrations. The primary purpose of the VISL calculator is to assist site managers and risk assessors in determining, based on an initial comparison of site data against the VISLs: whether or not chemicals found in groundwater or soil gas pose a significant health risk through vapor intrusion; and, if so, whether a site-specific vapor intrusion investigation is warranted. Terracon

Limited Site Investigation

7th Avenue Commons ■ Tucson, Arizona

February 3, 2016 ■ Terracon Project No. 63157137



utilized the VISL Calculator (Version 3.3.1) using Regional Screening Levels (RSLs) dated May 2014 and the default attenuation factor of 0.3 published by the EPA. The target sub-slab and exterior soil gas concentrations for this project were calculated using a Target Risk for Carcinogens (TCR) of 1×10^{-5} based on the prescribed risk utilized in EPA vapor intrusion guidance for screening evaluations for residential properties and a Target Hazard Quotient for Non-Carcinogens (THQ) of 1.0. A residential exposure scenario was also utilized as the parameter for the VISL Calculator.

It should be noted that the ADEQ does not have current published vapor screening risk levels to compare with the analytical results. However, the ADEQ typically reserves the 1×10^{-6} risk factor for sensitive receptor sites such as schools or daycare facilities and the 1×10^{-5} risk factor is generally applied to standard residential uses. The EPA screening levels were calculated based on a prescribed risk of 1×10^{-5} utilized in the EPA vapor intrusion guidance for screening evaluations for residential properties. Additionally, the ADEQ allows for soil remediation that results in a cumulative excess lifetime cancer risk between 1×10^{-6} and 1×10^{-4} and a Hazard Index no greater than one based on residential or non-residential exposure assumptions.

Using the VISL calculated RSLs based on prescribed risk of 1×10^{-5} , the detected concentrations of the six (6) analytes reported above laboratory method detection limits in the four (4) soil gas samples and ambient outdoor air sample collected at the site did not exceed the calculated screening levels for sub-slab and exterior soil gas concentrations.

Table 1, summarizing the laboratory results for the soil gas sampling at the site, is provided in Appendix B. The analytical report is included in Appendix D of this report.

4.2 Sub-Slab Soil Sampling Results

The on-site soils encountered while advancing the sub-slab borings encountered consisted mainly of clayey sand to a depth approximately 8 feet bgs and sandy lean clay and clayey sand to a depth of approximately 13 feet bgs. Elevated PID responses (greater than 2 ppm) were not detected in the soil samples collected from the three (3) borings. Copies of the Boring Logs are provided in Appendix C.

VOCs were not detected above the laboratory method detection limits in the three sub-slab soil samples submitted for laboratory analysis.

Eleven (11) PAH compounds were detected in sample N SUMP in concentrations exceeding the analytical laboratory method detection limits but below applicable ADEQ soil remediation levels (SRLs). In addition, sample N SUMP contained concentrations of benzo(a)pyrene (0.121 milligrams per kilogram [mg/kg]) exceeding the ADEQ residential 10^{-6} SRL of 0.069 mg/kg but below the ADEQ residential 10^{-5} SRL of 0.69 mg/kg. PAH compounds were not detected in the other samples.

PCBs were not detected above the laboratory method detection limits in the sub-slab sample submitted for laboratory analysis from the potential lift location.

Mercury, arsenic, barium, cadmium, total chromium, and lead were detected in the three sub-slab samples in concentrations exceeding the analytical laboratory method detection limits but below the applicable ADEQ SRLs.

Summary of detected PAH and metal constituents detected in sub-slab soil samples is provided in Appendix B, Tables 2 and 3. A copy of the soil sample analytical report is provided in Appendix D.

4.3 Sub-Grade Soil Sampling Results

The on-site soils encountered while advancing the sub-grade exterior borings encountered consisted mainly of clayey sand to a depth approximately 5 feet bgs and lean clay with sand to a depth of approximately 6 feet bgs. Elevated PID responses (greater than 2 ppm) were not detected in the soil samples collected from the four (4) borings. Copies of the Boring Logs are provided in Appendix C.

VOCs and PAHs were not detected above the laboratory method detection limits in the four sub-grade soil samples submitted for laboratory analysis.

Mercury, arsenic, barium, cadmium, total chromium, and lead were detected in the three sub-slab samples in concentrations exceeding the analytical laboratory method detection limits but below the applicable ADEQ SRLs.

A summary of detected metal constituents in sub-grade soil samples is provided in Appendix B, Table 4. A copy of the soil sample analytical report is provided in Appendix D.

4.4 Quality Assurance / Quality Control Evaluation

Sample holding times, maintenance of required preservation (temperature, light conditions), surrogate recovery, matrix-spike/matrix-spike duplicate, and laboratory control sample/laboratory control sample duplicates were evaluated against method criteria for data acceptability. No results requiring rejection or qualification were identified in the reporting of sampling results. The ambient outdoor air sample (AMB-1) collected from the site exterior, did not reveal the presence of VOCs in outdoor air that are considered an environmental concern or that would have adversely affected the collected soil gas samples. Detailed information regarding quality control/quality assurance for the soil samples is reported in the analytical reports by ESC included in Appendix D.

5.0 FINDINGS, CONCLUSIONS, AND RECOMMENDATIONS

Findings and Conclusions

Soil Gas

Four (4) soil gas samples were collected to assess if the contaminated groundwater plumes beneath the site or historic automotive repair or fueling activities are a potential vapor intrusion concern. Using the VISL calculated RSLs based on prescribed risk of 1×10^{-5} , the detected concentrations of the six (6) analytes reported above laboratory method detection limits in the four (4) soil gas samples and ambient outdoor air sample collected at the site did not exceed the calculated screening levels for sub-slab and exterior soil gas concentrations.

Soil

Seven (7) borings were advanced and sampled to assess if the former historical uses at the site had impacted site soils. In summary, the analyzed samples contained mercury, arsenic, barium, cadmium, total chromium, and lead in concentrations exceeding the analytical laboratory method detection limits but below the applicable ADEQ SRLs. In addition sample N SUMP, contained 11 PAH compounds in concentrations exceeding the analytical laboratory method detection limits but below applicable ADEQ SRLs and concentrations of benzo(a)pyrene (0.121 milligrams per kilogram [mg/kg]) exceeding the ADEQ residential 10^{-6} SRL of 0.069 mg/kg but below the ADEQ residential 10^{-5} SRL of 0.69 mg/kg.

Recommendations

Based on the analytical data of samples collected at the site, it is Terracon's opinion that the single elevated concentration of benzo(a)pyrene collected from sub-slab soils from Boring N SUMP does not warrant further investigation at this time. However, if soils in the vicinity of boring N SUMP are exported off-site; they should be transported to a Subtitle D Landfill for disposal and not utilized as "fill" at another property. Waste profiling may be required by the transporter and/or landfill prior to acceptance of the material.



SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

1.	Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
2.	Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
3.	Project statement outlining scope of work.
4.	UDC compliance review comments (obtained at the 1 st floor).
5.	Pima county assessor's record parcel detail and record map.
6.	Color aerial photograph of subject property (if applicable).
7.	Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
8.	Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
9.	Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
10.	Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
11.	Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
12.	PDF of all above listed items (number of hard copies may be required).
13.	Applicable fees (payable to City of Tucson).
14.	(Other)

*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



APPLICATION

Case Number _____

Date Accepted: _____

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): 7th Avenue Commons - Apartment Homes

Property Address: 58 E. FIFTH STREET, TUCSON, ARIZONA

Applicable Area/Neighborhood/Overlay: GIID

Zoning: C-3 Historic Status: _____

Legal Description: See Legal Description attached

Pima County Tax Parcel Number/s: 117-04-214A, 117-04-214B, 117-04-214C

Site and Building Area (sq ft): Site 1 = 48,708 s.f. (1.11 Net Ac.) Site 2 = 12,745 s.f. (.30 Ac.)
Building S.F. (including Parking Deck on Site 2) = 74,550 s.f.APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Christopher D. Norstrom

ADDRESS: Biltform Architectural Group - 11460 N. Cave Creek Rd. Unit 11

PHONE: (602) 285-9200

FAX: ()

EMAIL: Chris@biltform.com

PROPERTY OWNER NAME (If ownership in escrow, please note): Gardner Capital Development LLC

PHONE: (314) 561-5900

FAX: (314) 963-9995

PROJECT TYPE (check all that apply):

☐ New building on vacant land☒ New addition to existing building☒ Change of use to existing building☒ New building on developed land☐ Other

Related Permitted Activity Number(s): _____

DESCRIPTION OF USE: 7th Avenue Commons is a proposed 50 unit - Adaptive Re-use Affordable Multi-Family Housing

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT

3/31/16
DateR. W. BUTLER, FIC
GARDNER CAPITAL DEVELOPMENT ARIZONA, LLC



CASE INFORMATION

(To be completed by PDSD staff at pre-application meeting)

CASE INFORMATION

Case Number (E.g. HPZ-14-11, IID-15-01):

Related Permitted Activity Number(s):

Review Process (E.g. HPZ, DDO, IID – Major/Minor):

Applicable Fees:

Pre-Application Accepted by:

Date

Pre-Application Meeting scheduled for:

Date

Additional Notes:

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.):

7th Avenue Commons - Project Summary

7th avenue commons is a proposed 50 unit; 27 units in the existing two-story building (adaptive re-use) and 23 units in the new 3-level podium style building. A community center/clubhouse will be located at the northeast corner of the new apartment section. There will be parking on the existing north parking lot across Echols Ave. Southwest corner of echols and fifth street. There are 25 parking spaces on the ground level with a parking deck above, serving 11 additional spaces. New off-site street parking will be along 7th avenue and Fifth street totaling 27 spaces. The streetscape along 7th avenue, will include urban landscape and hardscape and public art. The parking deck along 5th street will be screened. The proposed development project will result in the adaptive re-use of the existing 12,000 warehouse/office building, and the construction of new parking deck on the current parking lot. The project will involve the development of an affordable housing community of approximately 50 apartments for families, (including apartments in the existing building). The project will include a combination of set-asides at 40%, 50% and 60% of median income

LEGAL DESCRIPTION PER TITLE COMMITMENT NO. 600-38632-JM

PARCEL 1:

LOTS 1, 4, 5 AND 8, BLOCK 58 OF THE CITY OF TUCSON, PIMA COUNTY, ARIZONA, ACCORDING TO THE OFFICIAL SURVEY, FIELD NOTES AND MAP AS MADE AND EXECUTED BY S.W. FOREMAN AND APPROVED AND ADOPTED BY THE MAYOR AND COMMON COUNCIL OF SAID CITY, (THEN VILLAGE), OF TUCSON, ON JUNE 26, 1872, A CERTIFIED COPY OF WHICH MAP IS OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PIMA COUNTY, ARIZONA, IN BOOK 3 OF MAPS AND PLATS AT PAGE 70 THEREOF.

PARCEL 2:

LOT 2 IN BLOCK 58 OF THE CITY OF TUCSON, ARIZONA, PIMA COUNTY, ARIZONA, ACCORDING TO THE OFFICIAL SURVEY, FIELD NOTES, AND MAP AS MADE AND EXECUTED BY S.W. FOREMAN AND APPROVED AND ADOPTED BY THE MAYOR AND COMMON COUNCIL OF SAID CITY, (THEN VILLAGE), OF TUCSON, (THEN VILLAGE) OF TUCSON, ON JUNE 16, 1872, A CERTIFIED COPY OF WHICH MAP IS OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PIMA COUNTY, ARIZONA IN BOOK 3 OF MAPS AND PLATS AT PAGE 70.

3/29/2016

Office of The Pima County Assessor

Book-Map-Parcel: 117-04-214A

[Oblique Image](#)

Tax Year:

Tax Area: 0150

Property Address:

Street No

Street Direction

Street Name

Location

58

E

5TH ST

Tucson

Taxpayer Information:

5TH - 7TH CENTER LLC
4729 E SUNRISE DR # 307
TUCSON AZ

Property Description:

TUCSON LOTS 1 & 4 BLK 58

85718- 4534

Valuation Data:

Valuation Year	Legal Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2016	COMMERCIAL (1)	18.0	\$122,214	\$97,126	\$219,340	\$175,256	\$31,546
2017	COMMERCIAL (1)	18.0	\$122,214	\$127,366	\$249,580	\$184,019	\$33,123

Property Information:

Section: 12
Town: 14.0
Range: 13.0E
Map & Plat: 3/71
Block: 058
Tract:
Rule B District: 1
Land Measure: 24394.00F
Group Code:
Census Tract: 400
Use Code: 3710 (WAREHOUSING)
File Id: 1
Date of Last Change: 11/22/2010

Commercial Characteristics:

Property Appraiser: John Becker Phone: (520)724-3046

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	10,080	\$157,879	\$0	\$127,366

Commercial Detail

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1946	372/3	0000000	6,690	\$281,064	\$106,804	WAREHOUSE DISTRIBUTION
002-001	1946	391/2	0000000	3,390	\$134,407	\$51,075	QUONSET COMMERCIAL/INDUSTRIAL

Valuation Area:

Condo Market: 60
DOR Market: 6
MFR Neighborhood: UN_WEST_UNIVERSITY
SFR Neighborhood: 05006301
SFR District: 13

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash Validation
20020240956	3	02/2002	Commercial/Industrial	\$375,000	\$375,000	N X JAC DEED: Warranty Deed

Supervisor District:

(5) RICHARD ELIAS

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20020240956	11730	3289	2/5/2002	WARRANTY DEED
97117534	10595	1589	7/25/1997	

Petition Information:

Tax Year	Owner's Estimate	Petition SBOE
2011	\$152,800	

Parcel Note: Click to see/expand 1 note(s)

3/29/2016

Office of The Pima County Assessor

Book-Map-Parcel: 117-04-214B

[Oblique Image](#)

Tax Year:

Tax Area: 0150

Property Address:

Street No

Street Direction

Street Name

Location

529

N

7TH AV

Tucson

Taxpayer Information:

5TH - 7TH CENTER LLC

4729 E SUNRISE DR # 307

TUCSON AZ

Property Description:

TUCSON LOT 5 BLK 58

85718-4534

Valuation Data:

Valuation Year	Legal Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2016	COMMERCIAL (1)	18.0	\$61,107	\$550	\$61,657	\$61,657	\$11,098
2017	COMMERCIAL (1)	18.0	\$61,107	\$550	\$61,657	\$61,657	\$11,098

Property Information:

Section:

12

Town:

14.0

Range:

13.0E

Map & Plat:

3/71

Block:

058

Tract:

Rule B District:

1

Land Measure:

12197.00F

Group Code:

Census Tract:

400

Use Code:

3710 (WAREHOUSING)

File Id:

1

Date of Last Change:

11/22/2010

Commercial Characteristics:

Property Appraiser: John Becker Phone: (520)724-3046

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$550	\$0	\$550

Commercial Detail

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1946	501B	0000000	0	\$26	\$10	

Valuation Area:

Condo Market:

60

DOR Market:

6

MFR Neighborhood:

UN_WEST_UNIVERSITY

SFR Neighborhood:

05006301

SFR District:

13

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash Validation
20020240956	3	02/2002	Commercial/Industrial	\$375,000	\$375,000	N X JAC DEED: Warranty Deed

Supervisor District:

(5) RICHARD ELIAS

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20020240956	11730	3289	2/5/2002	WARRANTY DEED
97117534	10595	1589	7/25/1997	

Petition Information:

Tax Year	Owner's Estimate	Petition	SBOE
2011	\$30,000		

Parcel Note: Click to see/expand 2 note(s)

3/29/2016

Office of The Pima County Assessor

Book-Map-Parcel: 117-04-214C

[Oblique Image](#)

Tax Year:

Tax Area: 0150

Property Address:

Street No

Street Direction

Street Name

Location

519

N

7TH AV

Tucson

Taxpayer Information:

5TH - 7TH CENTER LLC

4729 E SUNRISE DR # 307

TUCSON AZ

Property Description:

TUCSON LOT 8 BLK 58

85718-4534

Valuation Data:

Valuation Year	Legal Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2016	COMMERCIAL (1)	18.0	\$61,107	\$550	\$61,657	\$61,657	\$11,098
2017	COMMERCIAL (1)	18.0	\$61,107	\$550	\$61,657	\$61,657	\$11,098

Property Information:

Section: 12
 Town: 14.0
 Range: 13.0E
 Map & Plat: 3/71
 Block: 058
 Tract:
 Rule B District: 1
 Land Measure: 12197.00F
 Group Code:
 Census Tract: 400
 Use Code: 3710 (WAREHOUSING)
 File Id: 1
 Date of Last Change: 11/22/2010

Commercial Characteristics:

Property Appraiser: John Becker Phone: (520)724-3046

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$550	\$0	\$550

Commercial Detail

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1946	501/3	0000000	0	\$26	\$10	

Valuation Area:

Condo Market: 60
 DOR Market: 6
 MFR Neighborhood: UN_WEST_UNIVERSITY
 SFR Neighborhood: 05006301
 SFR District: 13

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash Validation
20020240956	3	02/2002	Commercial/Industrial	\$375,000	\$375,000	N X JAC DEED: Warranty Deed

Supervisor District:

(5) RICHARD ELIAS

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20020240956	11730	3289	2/5/2002	WARRANTY DEED
97117534	10595	1589	7/25/1997	

Petition Information:

Tax Year	Owner's Estimate	Petition	SBOE
2011	\$30,000		

Parcel Note: Click to see/expand 2 note(s)

3/29/2016

Office of The Pima County Assessor

Book-Map-Parcel: 117-04-2160

[Oblique Image](#)

Tax Year:

Tax Area: 0150

Property Address:

Street No

Street Direction

Street Name

Location

546

N

STONE AV

Tucson

Taxpayer Information:

5TH 7TH CENTER LLC

ATTN: ANNE LOVELL

4729 E SUNRISE DR PMB 307

TUCSON AZ

Property Description:

TUCSON LOT 2 BLK 58

85718-4534

Valuation Data:

Valuation Year	Legal Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2016	Vacant/Ag/Golf (2)	15.0	\$73,548	\$0	\$73,548	\$73,548	\$11,032
2017	Vacant/Ag/Golf (2)	15.0	\$73,182	\$0	\$73,182	\$73,182	\$10,977

Property Information:

Section: 12

Town: 14.0

Range: 13.0E

Map & Plat: 3/71

Block: 058

Tract:

Rule B District: 1

Land Measure: 12197.00F

Group Code:

Census Tract: 400

Use Code: 0021 (VACANT COMMERCIAL URBAN SUBDIVIDED)

File Id: 1

Date of Last Change: 9/12/2012

Valuation Area:

Condo Market: 60

DOR Market: 6

MFR Neighborhood: UN_WEST_UNIVERSITY

SFR Neighborhood: 05006301

SFR District: 13

Supervisor District:

(5) RICHARD ELIAS

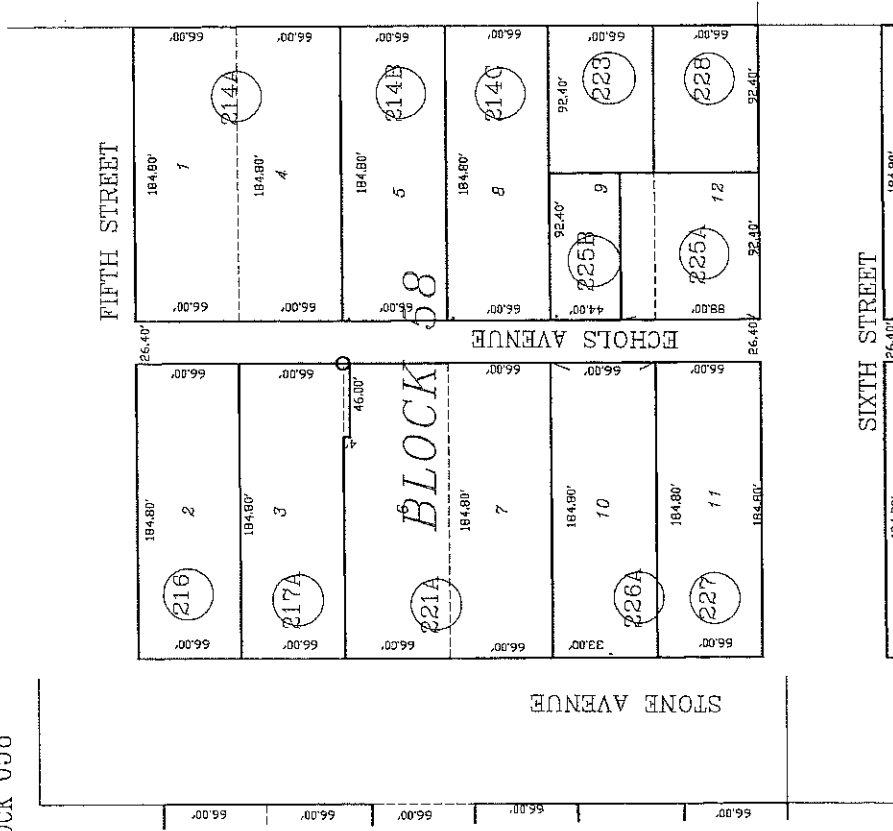
Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
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0	8196	984	1/6/1988	

Parcel Note: Click to see/expand 5 note(s)

ASSESSOR'S RECORD MAP
CITY OF TUCSON-- BLOCK 058

117-04



SEE BOOK 03 PAGE 071 MAP 1807-2

5121145 RISE

INFORM 03071-35- 85/87/08-8

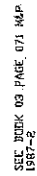
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FEET

CITY OF TUCSON- BLOCK 058

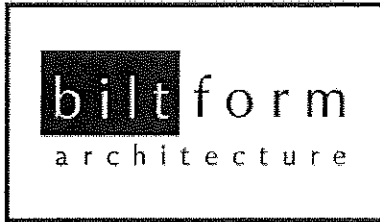
117-04



sl2,t14s,r13E

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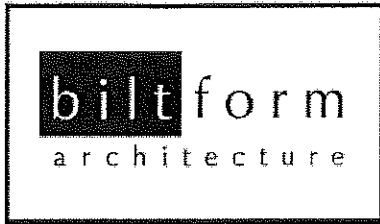
EXISTING CONDITIONS PHOTO EXHIBIT

7th Avenue Commons

Phoenix, Arizona

Architects Project No: 15-027

March 29, 2016



5th STREET AND STONE AVENUE

1.Southeast Corner facing North



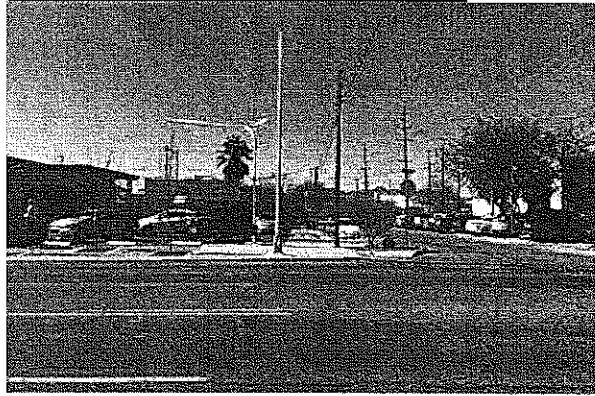
2.Southeast Corner facing East



3.Southeast Corner facing South



4.Southeast Corner facing West



5th STREET AND ECHOLS AVENUE

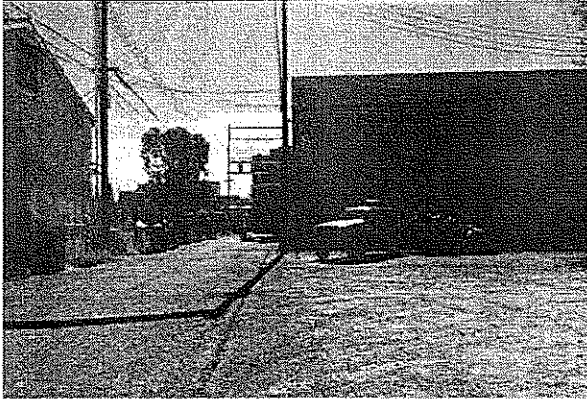
5.Southwest Corner facing North



6.Southwest Corner facing East



7.Southwest Corner facing South

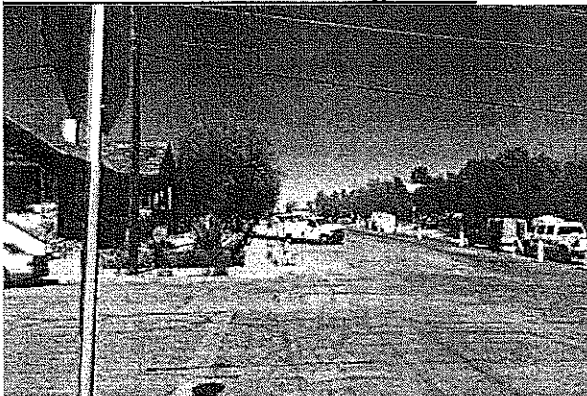


8.Southwest Corner facing West



5th STREET AND 7th AVENUE

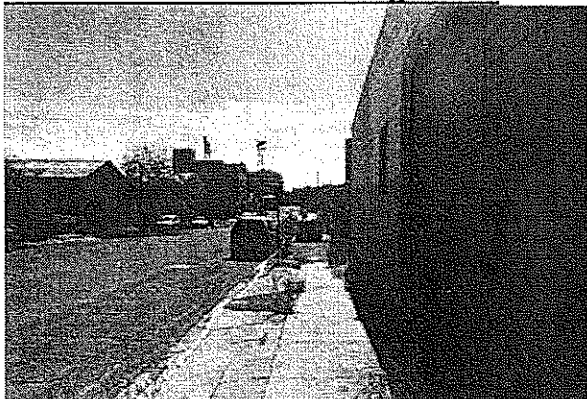
9.Southwest Corner facing North



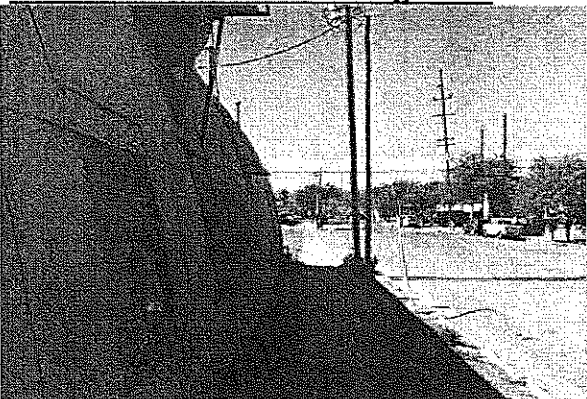
10.Southwest Corner facing East



11.Southwest Corner facing South



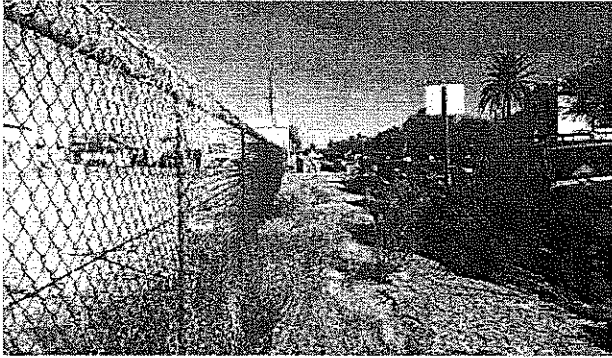
12.Southwest Corner facing West





7th STREET MIDPOINT

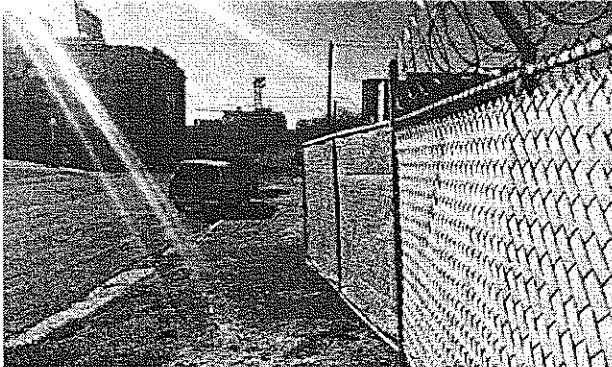
13. Southeast End of Property facing North



14. Southeast End of Property facing East



15. Southeast End of Property facing South



16. Southeast End of Property facing West

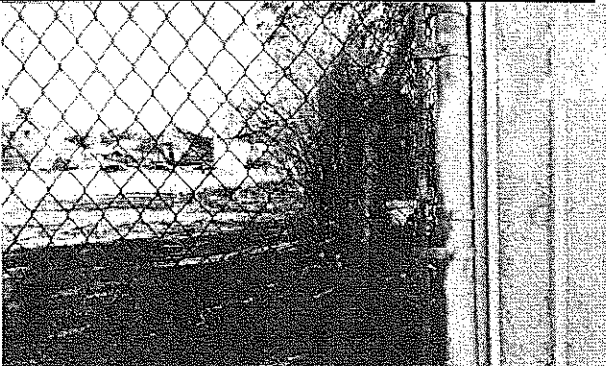


ECHOLS AVENUE MIDPOINT

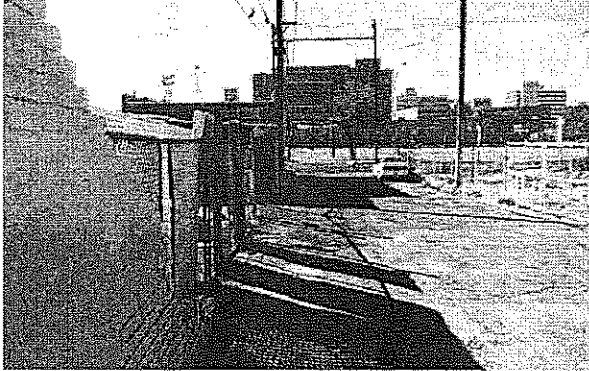
17. Southwest End of Property facing North



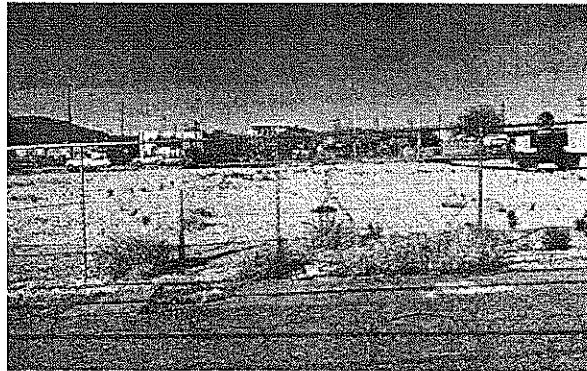
18. Southwest End of Property facing East



19.Southwest End of Property facing South



20.Southwest End of Property facing West



ECHOLS AVENUE

21.Southeast End of Property facing North



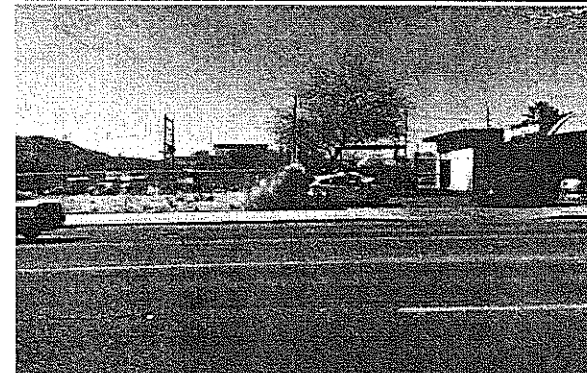
22.Southeast End of Property facing East



23.Southeast End of Property facing South



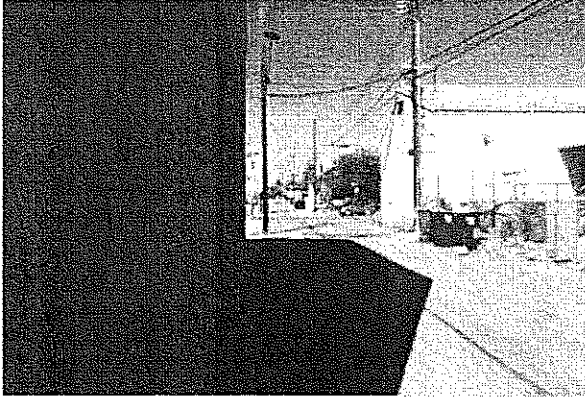
24.Southeast End of Property facing West





STONE AVENUE

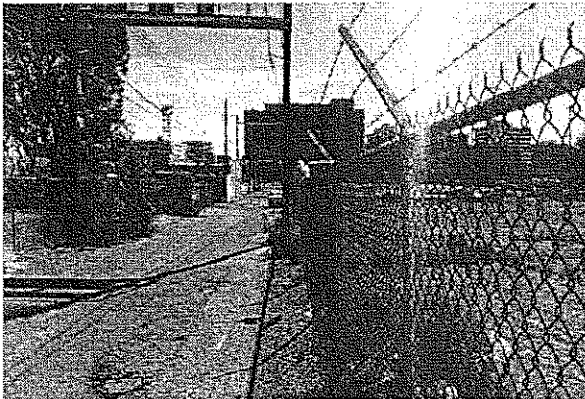
25.Southwest End of Property facing North



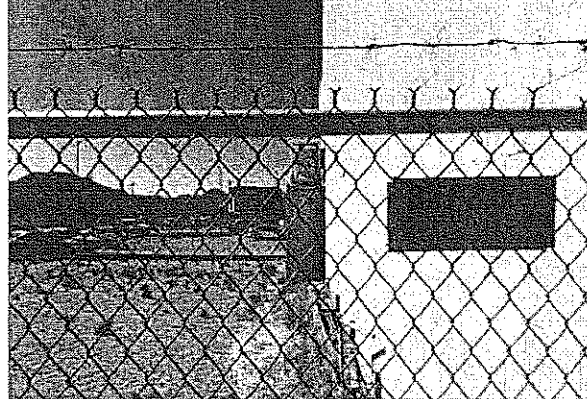
26.Southwest End of Property facing East



27.Southwest End of Property facing South



28.Southwest End of Property facing West



billform architecture

group, llc.

billform architecture

group, llc.

billform architecture

group, llc.

billform architecture

group, llc.

billform architecture

group, llc.

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group, llc.

billform architecture

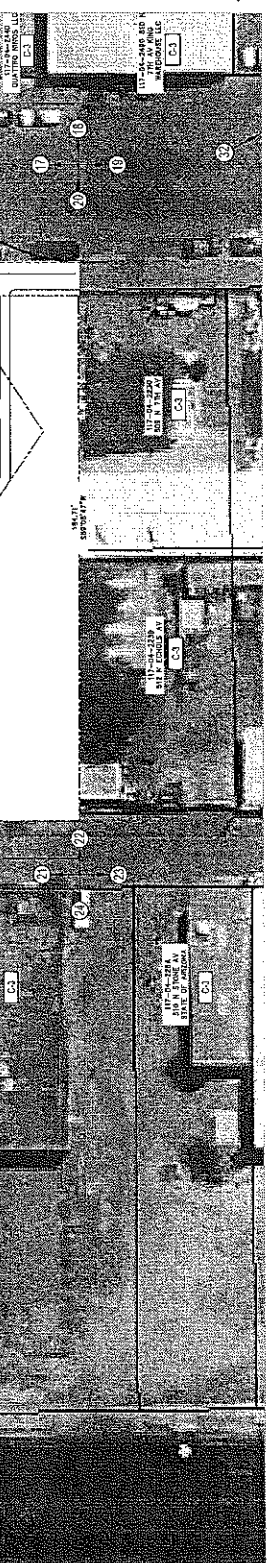
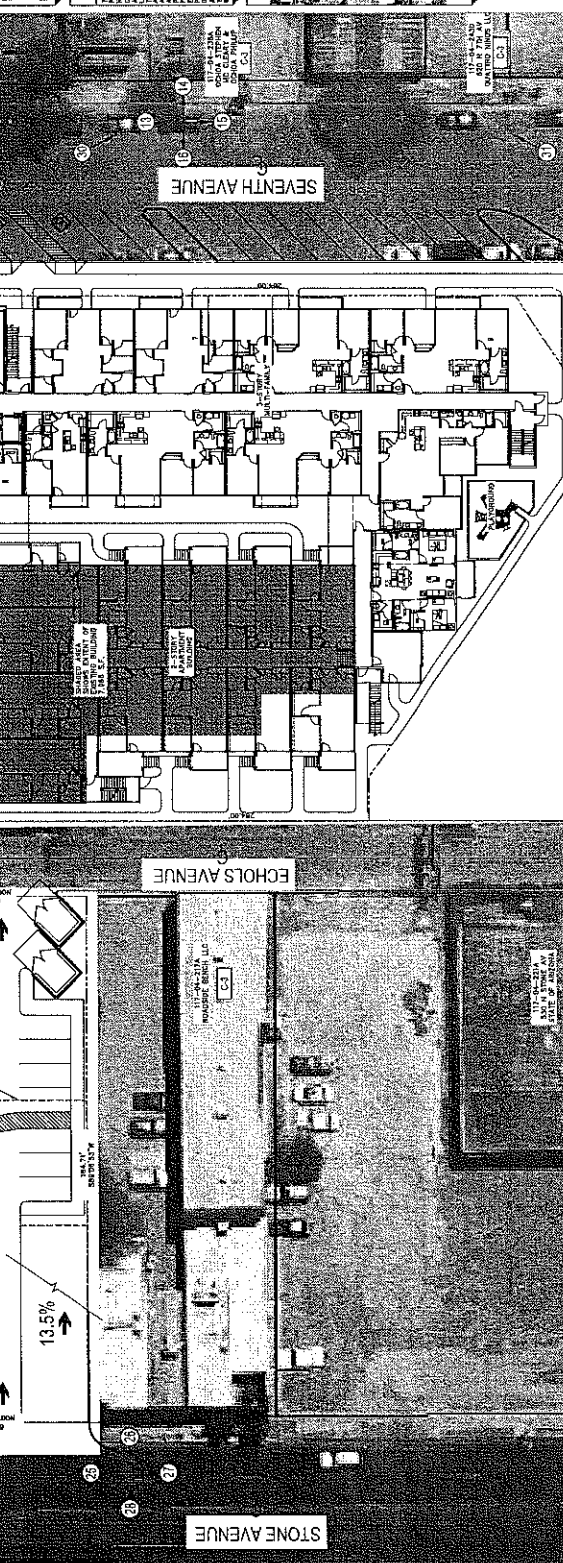
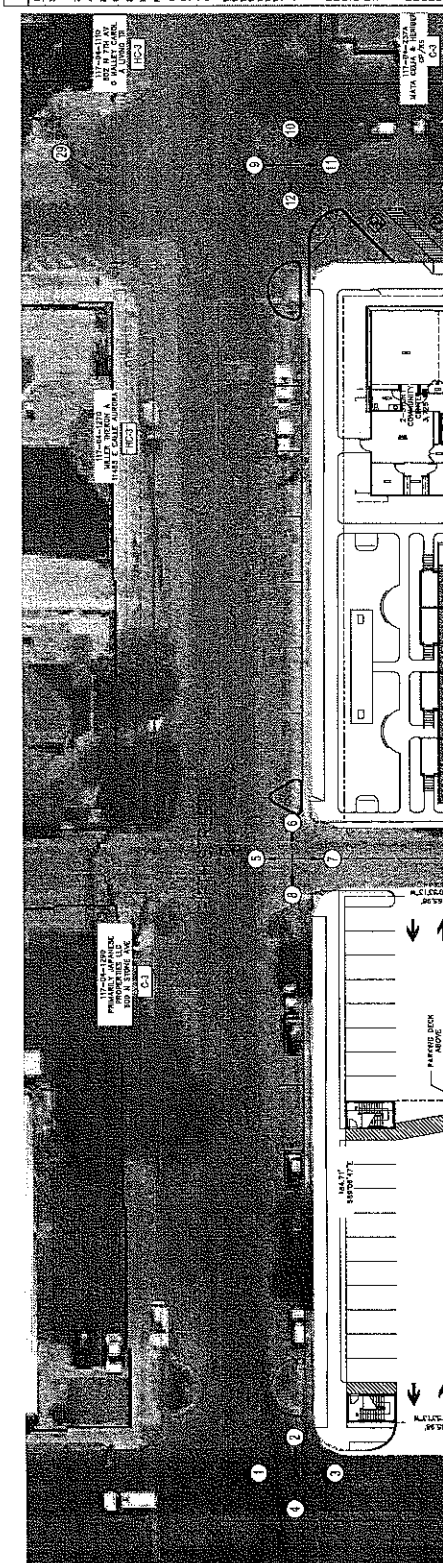
group, llc.

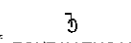
billform architecture

group, llc.

billform architecture

group, llc.





7th AVENUE COMMONS

BUILDING COMPONENT SCHEDULE		START DATE	END DATE
BUILDING ELEMENT	CONSTRUCTION TIME (W)		
EXTERNAL WALL	1 HOUR RATED	2/78	2/78
INTERIOR WALL	1 HOUR RATED	3/78	3/78
FLOORING	1 HOUR RATED	4/78	4/78
ROOFING	1 HOUR RATED	5/78	5/78
MECHANICAL	1 HOUR RATED	6/78	6/78
ELECTRICAL	1 HOUR RATED	7/78	7/78
PLUMBING	1 HOUR RATED	8/78	8/78
PAINTING	1 HOUR RATED	9/78	9/78
LANDSCAPING	1 HOUR RATED	10/78	10/78
FINISHING	1 HOUR RATED	11/78	11/78
INSULATION	1 HOUR RATED	12/78	12/78
GLAZING	1 HOUR RATED	1/79	1/79
MECHANICAL	1 HOUR RATED	2/79	2/79
ELECTRICAL	1 HOUR RATED	3/79	3/79
PLUMBING	1 HOUR RATED	4/79	4/79
PAINTING	1 HOUR RATED	5/79	5/79
LANDSCAPING	1 HOUR RATED	6/79	6/79
FINISHING	1 HOUR RATED	7/79	7/79
INSULATION	1 HOUR RATED	8/79	8/79
GLAZING	1 HOUR RATED	9/79	9/79
MECHANICAL	1 HOUR RATED	10/79	10/79
ELECTRICAL	1 HOUR RATED	11/79	11/79
PLUMBING	1 HOUR RATED	12/79	12/79
PAINTING	1 HOUR RATED	1/80	1/80
LANDSCAPING	1 HOUR RATED	2/80	2/80
FINISHING	1 HOUR RATED	3/80	3/80
INSULATION	1 HOUR RATED	4/80	4/80
GLAZING	1 HOUR RATED	5/80	5/80
MECHANICAL	1 HOUR RATED	6/80	6/80
ELECTRICAL	1 HOUR RATED	7/80	7/80
PLUMBING	1 HOUR RATED	8/80	8/80
PAINTING	1 HOUR RATED	9/80	9/80
LANDSCAPING	1 HOUR RATED	10/80	10/80
FINISHING	1 HOUR RATED	11/80	11/80
INSULATION	1 HOUR RATED	12/80	12/80
GLAZING	1 HOUR RATED	1/81	1/81
MECHANICAL	1 HOUR RATED	2/81	2/81
ELECTRICAL	1 HOUR RATED	3/81	3/81
PLUMBING	1 HOUR RATED	4/81	4/81
PAINTING	1 HOUR RATED	5/81	5/81
LANDSCAPING	1 HOUR RATED	6/81	6/81
FINISHING	1 HOUR RATED	7/81	7/81
INSULATION	1 HOUR RATED	8/81	8/81
GLAZING	1 HOUR RATED	9/81	9/81
MECHANICAL	1 HOUR RATED	10/81	10/81
ELECTRICAL	1 HOUR RATED	11/81	11/81
PLUMBING	1 HOUR RATED	12/81	12/81
PAINTING	1 HOUR RATED	1/82	1/82
LANDSCAPING	1 HOUR RATED	2/82	2/82
FINISHING	1 HOUR RATED	3/82	3/82
INSULATION	1 HOUR RATED	4/82	4/82
GLAZING	1 HOUR RATED	5/82	5/82
MECHANICAL	1 HOUR RATED	6/82	6/82
ELECTRICAL	1 HOUR RATED	7/82	7/82
PLUMBING	1 HOUR RATED	8/82	8/82
PAINTING	1 HOUR RATED	9/82	9/82
LANDSCAPING	1 HOUR RATED	10/82	10/82
FINISHING	1 HOUR RATED	11/82	11/82
INSULATION	1 HOUR RATED	12/82	12/82
GLAZING	1 HOUR RATED	1/83	1/83
MECHANICAL	1 HOUR RATED	2/83	2/83
ELECTRICAL	1 HOUR RATED	3/83	3/83
PLUMBING	1 HOUR RATED	4/83	4/83
PAINTING	1 HOUR RATED	5/83	5/83
LANDSCAPING	1 HOUR RATED	6/83	6/83
FINISHING	1 HOUR RATED	7/83	7/83
INSULATION	1 HOUR RATED	8/83	8/83
GLAZING	1 HOUR RATED	9/83	9/83
MECHANICAL	1 HOUR RATED	10/83	10/83
ELECTRICAL	1 HOUR RATED	11/83	11/83
PLUMBING	1 HOUR RATED	12/83	12/83
PAINTING	1 HOUR RATED	1/84	1/84
LANDSCAPING	1 HOUR RATED	2/84	2/84
FINISHING	1 HOUR RATED	3/84	3/84
INSULATION	1 HOUR RATED	4/84	4/84
GLAZING	1 HOUR RATED	5/84	5/84
MECHANICAL	1 HOUR RATED	6/84	6/84
ELECTRICAL	1 HOUR RATED	7/84	7/84
PLUMBING	1 HOUR RATED	8/84	8/84
PAINTING	1 HOUR RATED	9/84	9/84
LANDSCAPING	1 HOUR RATED	10/84	10/84
FINISHING	1 HOUR RATED	11/84	11/84
INSULATION	1 HOUR RATED	12/84	12/84
GLAZING	1 HOUR RATED	1/85	1/85
MECHANICAL	1 HOUR RATED	2/85	2/85
ELECTRICAL	1 HOUR RATED	3/85	3/85
PLUMBING	1 HOUR RATED	4/85	4/85
PAINTING	1 HOUR RATED	5/85	5/85
LANDSCAPING	1 HOUR RATED	6/85	6/85
FINISHING	1 HOUR RATED	7/85	7/85
INSULATION	1 HOUR RATED	8/85	8/85
GLAZING	1 HOUR RATED	9/85	9/85
MECHANICAL	1 HOUR RATED	10/85	10/85
ELECTRICAL	1 HOUR RATED	11/85	11/85
PLUMBING	1 HOUR RATED	12/85	12/85
PAINTING	1 HOUR RATED	1/86	1/86
LANDSCAPING	1 HOUR RATED	2/86	2/86
FINISHING	1 HOUR RATED	3/86	3/86
INSULATION	1 HOUR RATED	4/86	4/86
GLAZING	1 HOUR RATED	5/86	5/86
MECHANICAL	1 HOUR RATED	6/86	6/86
ELECTRICAL	1 HOUR RATED	7/86	7/86
PLUMBING	1 HOUR RATED	8/86	8/86
PAINTING	1 HOUR RATED	9/86	9/86
LANDSCAPING	1 HOUR RATED	10/86	10/86
FINISHING	1 HOUR RATED	11/86	11/86
INSULATION	1 HOUR RATED	12/86	12/86
GLAZING	1 HOUR RATED	1/87	1/87
MECHANICAL	1 HOUR RATED	2/87	2/87
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FINISHING	1 HOUR RATED	7/87	7/87
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GLAZING	1 HOUR RATED	9/87	9/87
MECHANICAL	1 HOUR RATED	10/87	10/87
ELECTRICAL	1 HOUR RATED	11/87	11/87
PLUMBING	1 HOUR RATED	12/87	12/87
PAINTING	1 HOUR RATED	1/88	1/88
LANDSCAPING	1 HOUR RATED	2/88	2/88
FINISHING	1 HOUR RATED	3/88	3/88
INSULATION	1 HOUR RATED	4/88	4/88
GLAZING	1 HOUR RATED	5/88	5/88
MECHANICAL	1 HOUR RATED	6/88	6/88
ELECTRICAL	1 HOUR RATED	7/88	7/88
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PAINTING	1 HOUR RATED	9/88	9/88
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LANDSCAPING	1 HOUR RATED	2/96	2/96
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INSULATION	1 HOUR RATED	4/96	4/96
GLAZING	1 HOUR RATED	5/96	5/96
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FINISHING	1 HOUR RATED	11/96	11/96
INSULATION	1 HOUR RATED	12/96	12/96
GLAZING	1 HOUR RATED	1/97	1/97
MECHANICAL	1 HOUR RATED	2/97	2/97
ELECTRICAL	1 HOUR RATED	3/97	3/97
PLUMBING	1 HOUR RATED	4/97	4/97
PAINTING	1 HOUR RATED	5/97	5/97
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GLAZING	1 HOUR RATED	9/97	9/97
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FINISHING	1 HOUR RATED	3/98	3/98
INSULATION	1 HOUR RATED	4/98	4/98
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MECHANICAL	1 HOUR RATED	6/98	6/98
ELECTRICAL	1 HOUR RATED	7/98	7/98
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PAINTING	1 HOUR RATED	9/98	9/98
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FINISHING	1 HOUR RATED	11/98	11/98
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ELECTRICAL	1 HOUR RATED	3/99	3/99
PLUMBING	1 HOUR RATED	4/99	4/99
PAINTING	1 HOUR RATED	5/99	5/99
LANDSCAPING	1 HOUR RATED	6/99	6/99
FINISHING	1 HOUR RATED	7/99	7/99
INSULATION	1 HOUR RATED	8/99	8/99
GLAZING	1 HOUR RATED	9/99	9/99
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ELECTRICAL	1 HOUR RATED	11/99	11/99
PLUMBING	1 HOUR RATED	12/99	12/99
PAINTING	1 HOUR RATED	1/00	1/00
LANDSCAPING	1 HOUR RATED	2/00	2/00
FINISHING	1 HOUR RATED	3/00	3/00
INSULATION	1 HOUR RATED	4/00	4/00
GLAZING	1 HOUR RATED	5/00	5/00
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FINISHING	1 HOUR RATED	11/00	11/00
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ELECTRICAL	1 HOUR RATED	3/01	3/01
PLUMBING	1 HOUR RATED	4/01	4/01
PAINTING	1 HOUR RATED	5/01	5/01
LANDSCAPING	1 HOUR RATED	6/01	6/01
FINISHING	1 HOUR RATED	7/01	7/01
INSULATION	1 HOUR RATED	8/01	8/01
GLAZING	1 HOUR RATED	9/01	9/01
MECHANICAL	1 HOUR RATED	10/01	10/01
ELECTRICAL	1 HOUR RATED	11/01	11/01
PLUMBING	1 HOUR RATED	12/01	12/01
PAINTING	1 HOUR RATED	1/02	1/02
LANDSCAPING	1 HOUR RATED	2/02	2/02
FINISHING	1 HOUR RATED	3/02	3/02
INSULATION	1 HOUR RATED	4/02	4/02
GLAZING	1 HOUR RATED	5/02	5/02
MECHANICAL	1 HOUR RATED	6/02	6/02
ELECTRICAL	1 HOUR RATED	7/02	7/02
PLUMBING	1 HOUR RATED	8/02	8/02
PAINTING	1 HOUR RATED	9/02	9/02
LANDSCAPING	1 HOUR RATED	10/02	10/02
FINISHING	1 HOUR RATED	11/02	11/02
INSULATION	1 HOUR RATED	12/02	12/02
GLAZING	1 HOUR RATED	1/03	1/03
MECHANICAL	1 HOUR RATED	2/03	2/03
ELECTRICAL	1 HOUR RATED	3/03	3/03
PLUMBING	1 HOUR RATED	4/03	4/03
PAINTING	1 HOUR RATED	5/03	5/03
LANDSCAPING	1 HOUR RATED	6/03	6/03
FINISHING	1 HOUR RATED	7/03	7/03
INSULATION	1 HOUR RATED	8/03	8/03
GLAZING	1 HOUR RATED	9/03	9/03
MECHANICAL	1 HOUR RATED	10/03	10/03
ELECTRICAL	1 HOUR RATED	11/03	11/03
PLUMBING	1 HOUR RATED	12/03	12/03
PAINTING	1 HOUR RATED	1/04	1/04

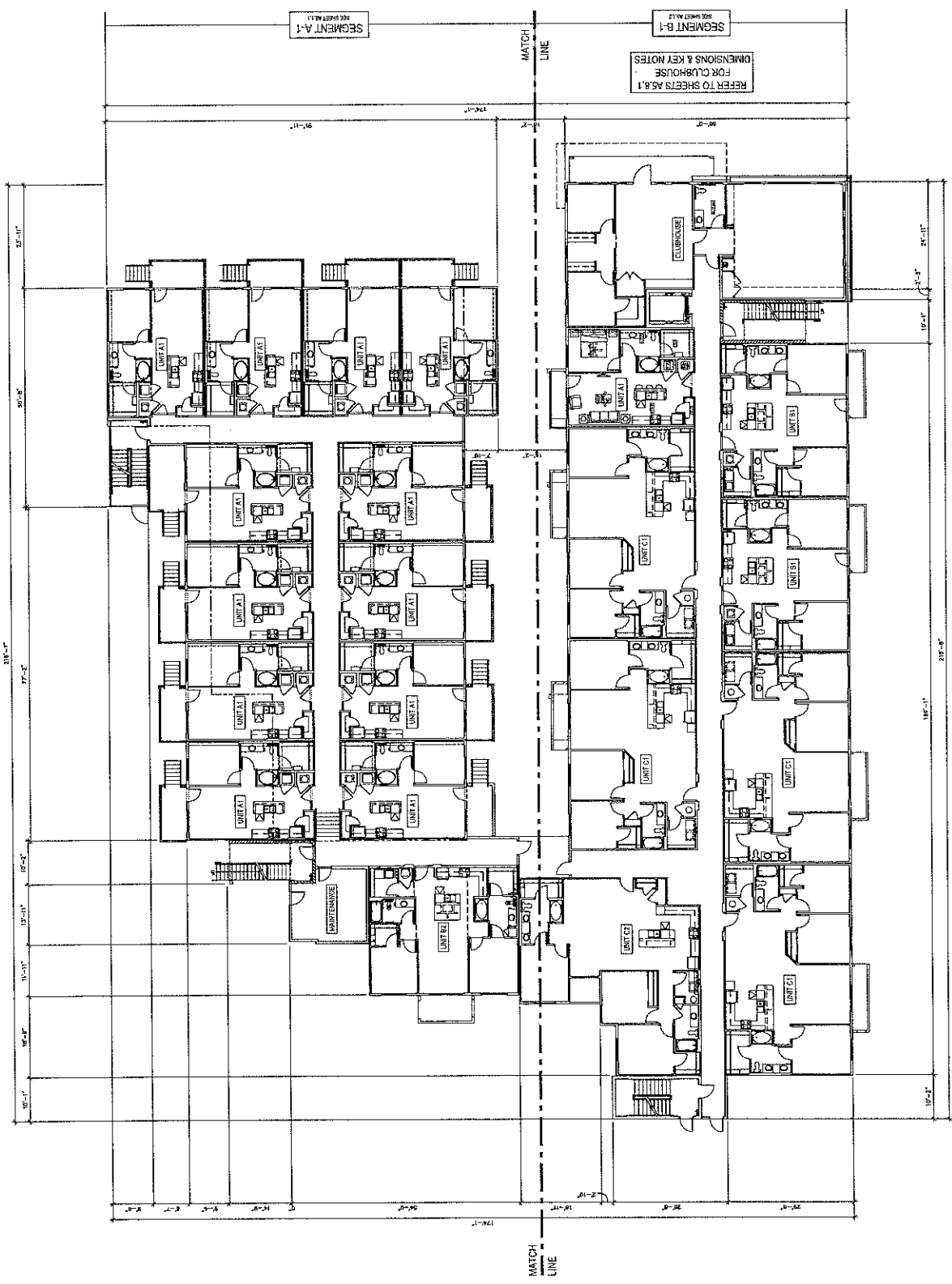
STANOPIPE REQUIREMENTS:

1. STANOPIPE SYSTEM SHALL BE INSTALLED BY ALL CONTRACTORS TO PROTECT ALL EXISTING AND NEW UTILITIES, EGRESS, AND EGRESS. THE STANOPIPE DRAWINGS TO BE SUBMITTED UNDER SEPARATE REVIEW & PERMIT.
2. STANOPIPE HOSE CONNECTION SHALL BE PROVIDED FOR EACH SIDE OF WALL ADJACENT TO THE EXISTING OR NEW STANOPIPE. THE STANOPIPE SHALL MEET THIS REQUIREMENT. SEE SECTION 05-41.20 FOR DETAILS.

BUILDING PLAN NOTES

1. FOR TYPICAL UNIT PLANS SEE SHEETS A-10 THROUGH SHEET A-11.
2. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
3. RETURN TO SHEETS A-10 & A-11 FOR ROOM FINISH SCHEDULE. BASE UNDER ROOM FINISH WALLS AND CEILING - KNOCK DOWN TEXTURE PAINTED IN ROUGH ARCHITECTURAL OR IRRADIATION DESIGN DRAWINGS.

INSULATION SCHEDULE:	
EXTERIOR WALLS	R-19 on 2x6 WALLS R-13 on 2x4 WALLS
ROOF	R-30 BATTLS TO FILL CAVITY
FLOOR/CEILING	BATT INSULATION TO FILL CAVITY
GARAGE CEILING	BATT INSULATION TO FILL CAVITY
PARTY WALLS	3" SOUND BATTLS EACH SIDE
CORRIDOR WALLS	3" SOUND BATTLS



BUILDING 1 FIRST FLOOR OVERALL

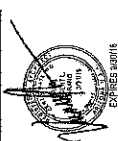
BUILDING 1 SECOND FLOOR OVERALL



	REVENUES	
A	-	16-407
B	-	APRIL 1, 2010
C	-	SCALE:
D	-	SHEET NO.

7th AVENUE COMMONS
Apartment Homes
55 EAST 7TH STREET, TUSCON, ARIZONA
GARDNER CAPITAL DEVELOPMENT, LLC,
8000 Maryland Avenue, Suite 910, Clayton, MO, 63105
PHONE: 314-611-6500 FAX: 314-611-9955

uniform architecture
group, LLC.

[illegible]

STANDPIPE REQUIREMENTS:

1. STANDPIPE SYSTEM SHALL BE INSTALLED IN ALL STAIRWAYS IN ACCORDANCE WITH SECTION 903.3 & 903.4. FIRE SPRINKLER DRINKINGS TO BE SUBMITTED UNDER SEPARATE REVIEW & PERMIT.
2. STANDPIPE HOSE CONNECTION SHALL BE PROVIDED:
 - (1) ON EACH SIDE OF WALL ADJACENT TO THE EXIT OPENING OF A HORIZONTAL EXIT, NOT ALL FLOORS SHALL MEET THE REQUIREMENT. SEE SECTION 903.4.

REFERENCES

1. FOR TYPICAL UNIT PLANS USE 905 SHEETS A2.1.0 THROUGH SHEET A2.1.1.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. REFLECT TO SHEETS A2.1.0 & A2.1.0 FOR ROOM SCHEDULE, BASE, INTERIOR ROOM FINISH, WALLS, CEILING - DROP, DOOR TEXTURE, PAINTED, CARPET & PAD, LATHES NOTED OTHERWISE IN ARCHITECTURAL OR INTERIOR DESIGN DRAWINGS.

INSULATION SCHEDULE:

EXTERIOR WALLS	R-19 or 2x6 WALLS R-13 or 2x4 WALLS
ROOF	R-30 BATTLS TO FILL CAVITY
FLOOR/CEILING	BATT INSULATION TO FILL CAVITY
GARAGE CEILING	BATT INSULATION TO FILL CAVITY
PARTY WALLS	3" SOING BATTLS EACH SIDE
CORRIDOR WALLS	3" SOUND BATTLS

REFER TO SHEET 13.01.1
FOR CLUBHOUSE
DIMENSIONS & KEY NOTES

SEGMENT B-1
SEE SHEET A5.23

SEGMENT A-1
SEE SHEET A5.21

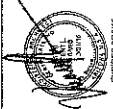
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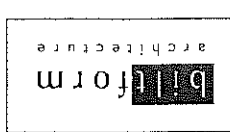


REVISIONS	15-027
1	APR 1, 2016
2	SCALE
3	NOTES

7th AVENUE COMMONS
Apartment Homes
59 EAST 7TH STREET, TUCSON, ARIZONA
GARDNER CAPITAL DEVELOPMENT, LLC.
8000 Maryland Avenue, Suite 910, Clayton, MO, 63105
PHONE: 314-551-9900 FAX: 314-551-9955



platform architecture
group, LLC.



BUILDING COMPONENT	SCHEDULE	CONSTRUCTION TYPE	UNIT	PERIOD	UNIT PERIOD
BUILDING BEAM	1	1	1	1	1
EXTERNAL WALL	2	2	2	2	2
BRICK WALL	3	3	3	3	3
CONCRETE WALL	4	4	4	4	4
UNIT ROOFING	5	5	5	5	5
WOOD/STEEL JOIST	6	6	6	6	6
CONCRETE JOIST	7	7	7	7	7
WOOD/STEEL TRUSS	8	8	8	8	8
CONCRETE TRUSS	9	9	9	9	9
WOOD/STEEL BEAM	10	10	10	10	10
CONCRETE BEAM	11	11	11	11	11
WOOD/STEEL COLUMN	12	12	12	12	12
CONCRETE COLUMN	13	13	13	13	13
WOOD/STEEL TRUSS	14	14	14	14	14
CONCRETE TRUSS	15	15	15	15	15
WOOD/STEEL JOIST	16	16	16	16	16
CONCRETE JOIST	17	17	17	17	17
WOOD/STEEL TRUSS	18	18	18	18	18
CONCRETE TRUSS	19	19	19	19	19
WOOD/STEEL BEAM	20	20	20	20	20
CONCRETE BEAM	21	21	21	21	21
WOOD/STEEL COLUMN	22	22	22	22	22
CONCRETE COLUMN	23	23	23	23	23
WOOD/STEEL TRUSS	24	24	24	24	24
CONCRETE TRUSS	25	25	25	25	25
WOOD/STEEL JOIST	26	26	26	26	26
CONCRETE JOIST	27	27	27	27	27
WOOD/STEEL TRUSS	28	28	28	28	28
CONCRETE TRUSS	29	29	29	29	29
WOOD/STEEL BEAM	30	30	30	30	30
CONCRETE BEAM	31	31	31	31	31
WOOD/STEEL COLUMN	32	32	32	32	32
CONCRETE COLUMN	33	33	33	33	33
WOOD/STEEL TRUSS	34	34	34	34	34
CONCRETE TRUSS	35	35	35	35	35
WOOD/STEEL JOIST	36	36	36	36	36
CONCRETE JOIST	37	37	37	37	37
WOOD/STEEL TRUSS	38	38	38	38	38
CONCRETE TRUSS	39	39	39	39	39
WOOD/STEEL BEAM	40	40	40	40	40
CONCRETE BEAM	41	41	41	41	41
WOOD/STEEL COLUMN	42	42	42	42	42
CONCRETE COLUMN	43	43	43	43	43
WOOD/STEEL TRUSS	44	44	44	44	44
CONCRETE TRUSS	45	45	45	45	45
WOOD/STEEL JOIST	46	46	46	46	46
CONCRETE JOIST	47	47	47	47	47
WOOD/STEEL TRUSS	48	48	48	48	48
CONCRETE TRUSS	49	49	49	49	49
WOOD/STEEL BEAM	50	50	50	50	50
CONCRETE BEAM	51	51	51	51	51
WOOD/STEEL COLUMN	52	52	52	52	52
CONCRETE COLUMN	53	53	53	53	53
WOOD/STEEL TRUSS	54	54	54	54	54
CONCRETE TRUSS	55	55	55	55	55
WOOD/STEEL JOIST	56	56	56	56	56
CONCRETE JOIST	57	57	57	57	57
WOOD/STEEL TRUSS	58	58	58	58	58
CONCRETE TRUSS	59	59	59	59	59
WOOD/STEEL BEAM	60	60	60	60	60
CONCRETE BEAM	61	61	61	61	61
WOOD/STEEL COLUMN	62	62	62	62	62
CONCRETE COLUMN	63	63	63	63	63
WOOD/STEEL TRUSS	64	64	64	64	64
CONCRETE TRUSS	65	65	65	65	65
WOOD/STEEL JOIST	66	66	66	66	66
CONCRETE JOIST	67	67	67	67	67
WOOD/STEEL TRUSS	68	68	68	68	68
CONCRETE TRUSS	69	69	69	69	69
WOOD/STEEL BEAM	70	70	70	70	70

STANDPIPE REQUIREMENTS:

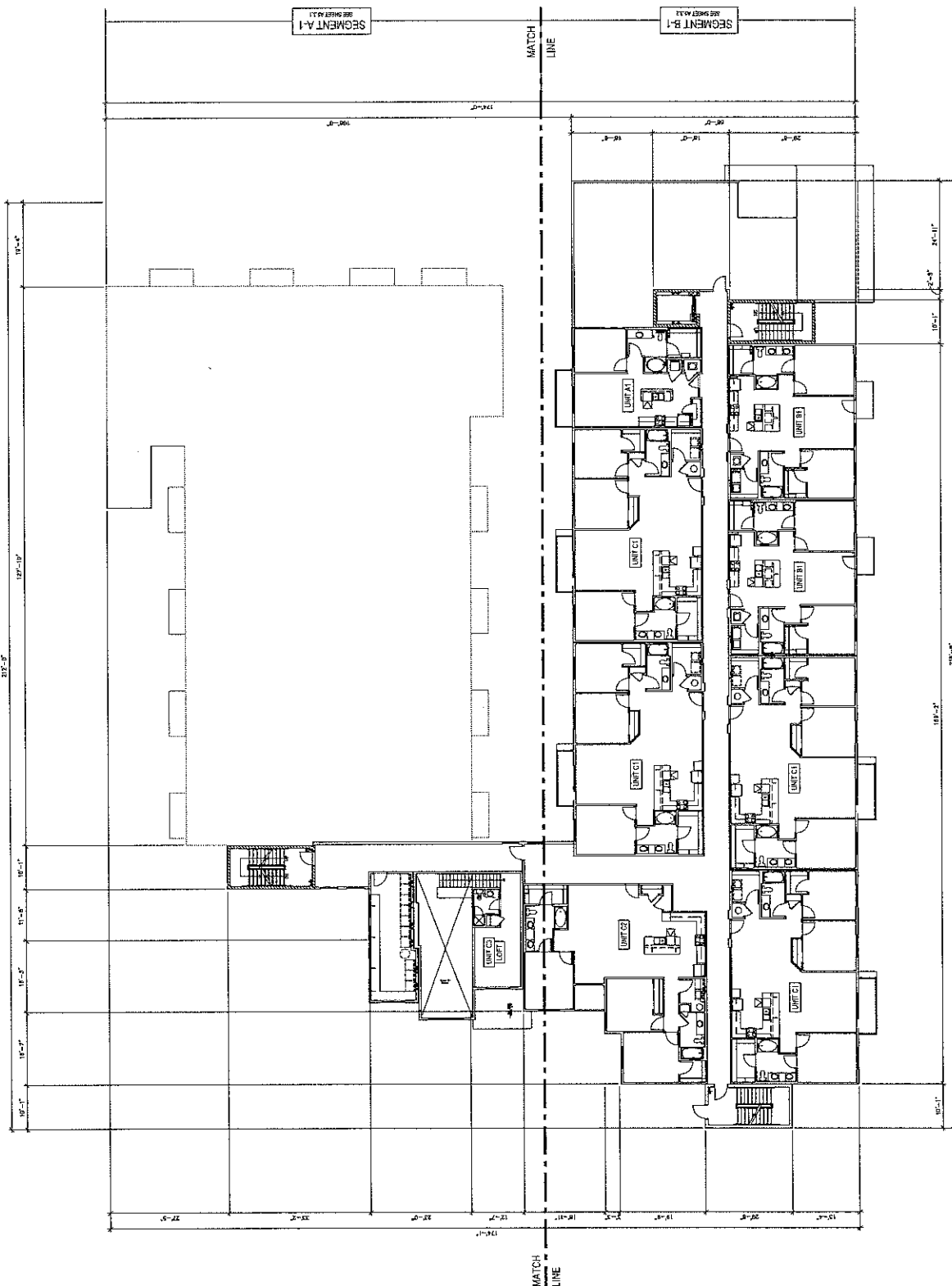
1. STAMPING SYSTEM SHALL BE INSTALLED IN ALL STAIRWAYS IN ACCORDANCE WITH SECTION 0505.1.1.1. THE STAIRWAY DRAWINGS TO BE SUBMITTED UNDER SEPARATE REVIEW & PERMIT.
2. STAIRWELL HOSE CONNECTION SHALL BE PROVIDED. (2) ON EACH FLOOR OF MAJOR ADJACENT TO THE EXIT OF THE STAIRWAY, A HOSE CONNECTION SHALL BE PROVIDED. THE HOSE CONNECTION SHALL MEET THIS REQUIREMENT. SEE SECTION 0505.1.1.1.

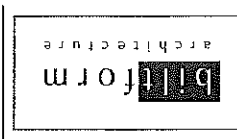
BUILDING PLAN NOTES

1. FOR TYPICAL UNIT PLANS SEE SHEETS A2.1-9 THROUGH SHEET A2.15.1.
2. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
3. REFER TO SHEETS A5.1-9 & A6.1-9 FOR ROOM FINISH SCHEDULE. BAGG INTERIOR ROOM FINISH WALLS AND CEILING - KNOCK DOWN TIEBACK, PAINTED FLOOR - CARPET & PAD. UNLESS NOTED OTHERWISE IN THE ARCHITECTURAL OR INTERIOR DESIGN CHANGES.

INSULATION SCHEDULE:

EXTERIOR WALLS	R-10 of 2x8 WALLS R-13 of 2x4 WALLS
ROOF	R-30 BATT INSULATION TO FILL CAVITY
FLOOR/CEILING	BATT INSULATION TO FILL CAVITY
GARAGE CEILING	BATT INSULATION TO FILL CAVITY
PARTY WALLS	3" SOUND BATTES EACH SIDE
CORRIDOR WALLS	3" SOUND BATTES





11600 Greenwood, Suite 111
Clayton, MO 63105
Phone 631.213.0000 Fax 631.213.0005



GARDNER CAPITAL DEVELOPMENT, LLC.
8000 Maryland Avenue, Suite 910, Clayton, MO 63105
PHONE: 314.661.6800 FAX: 314.661.3905
Apartment Homes
58 EAST 97TH STREET, INDEPENDENCE, MISSOURI, ARIZONA

7th AVENUE COMMONS

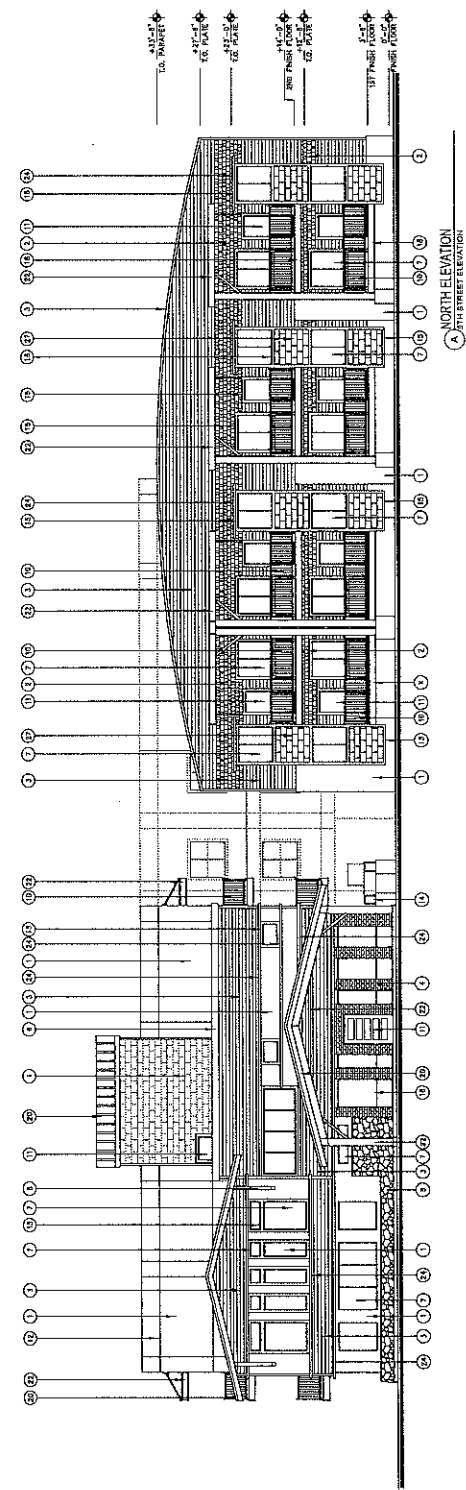
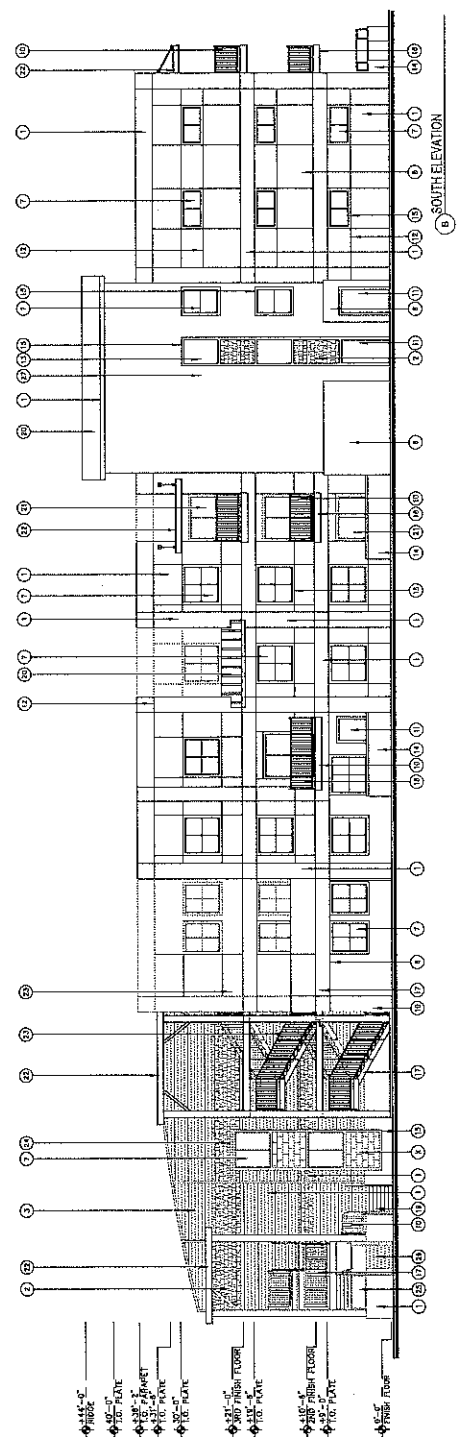
A5.5.1

BUILDING 1
NORTH/SOUTH ELEVATIONS

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- ELEVATION KEY NOTES: (A)
1. EXTERIOR STUCCO SYSTEM
 2. SHAKE SIDING
 3. BRICK VENEER
 4. BRICK VENEER
 5. MARBLESTONE
 6. MARBLESTONE
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 21. MARBLESTONE
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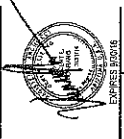
EXTERIOR COLOR SCHEDULE:
1. STUCCO BASE #1
2. STUCCO BASE #2
3. STUCCO BASE #3
4. STUCCO BASE #4
5. STUCCO BASE #5
6. STUCCO BASE #6
7. STUCCO BASE #7
8. STUCCO BASE #8
9. STUCCO BASE #9
10. STUCCO BASE #10
11. STUCCO BASE #11
12. STUCCO BASE #12
13. STUCCO BASE #13
14. STUCCO BASE #14
15. STUCCO BASE #15
16. STUCCO BASE #16
17. STUCCO BASE #17
18. STUCCO BASE #18
19. STUCCO BASE #19
20. STUCCO BASE #20
21. STUCCO BASE #21
22. STUCCO BASE #22



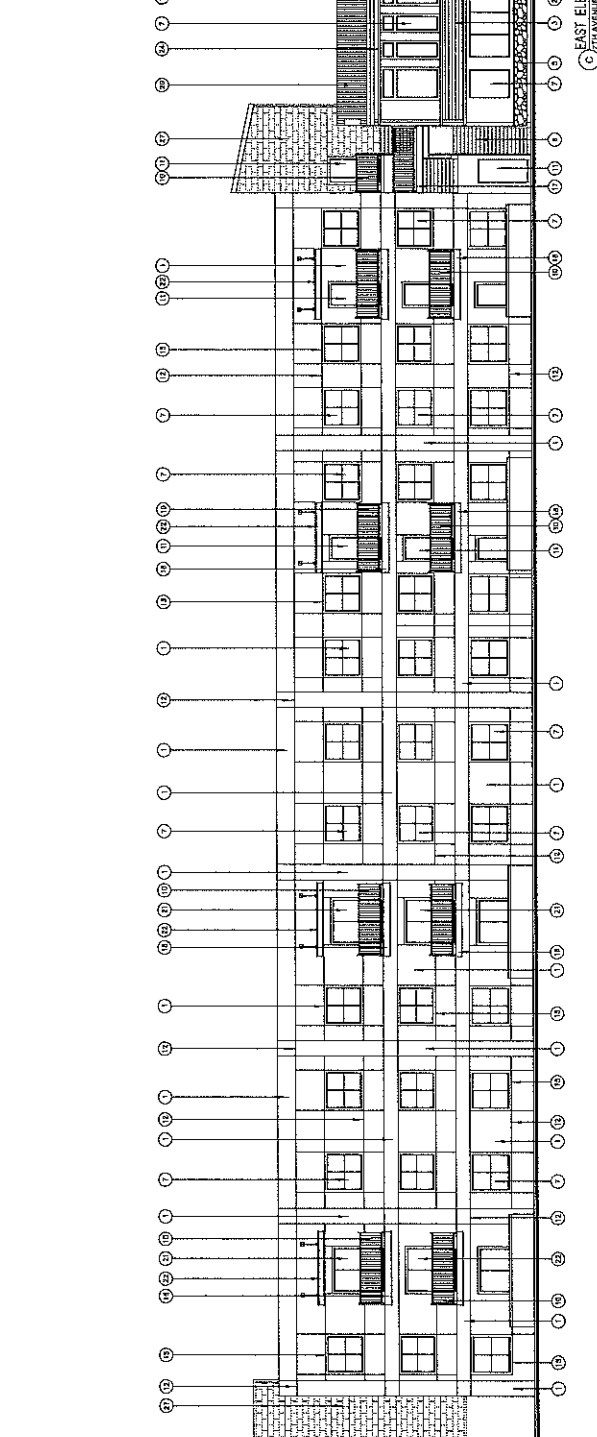
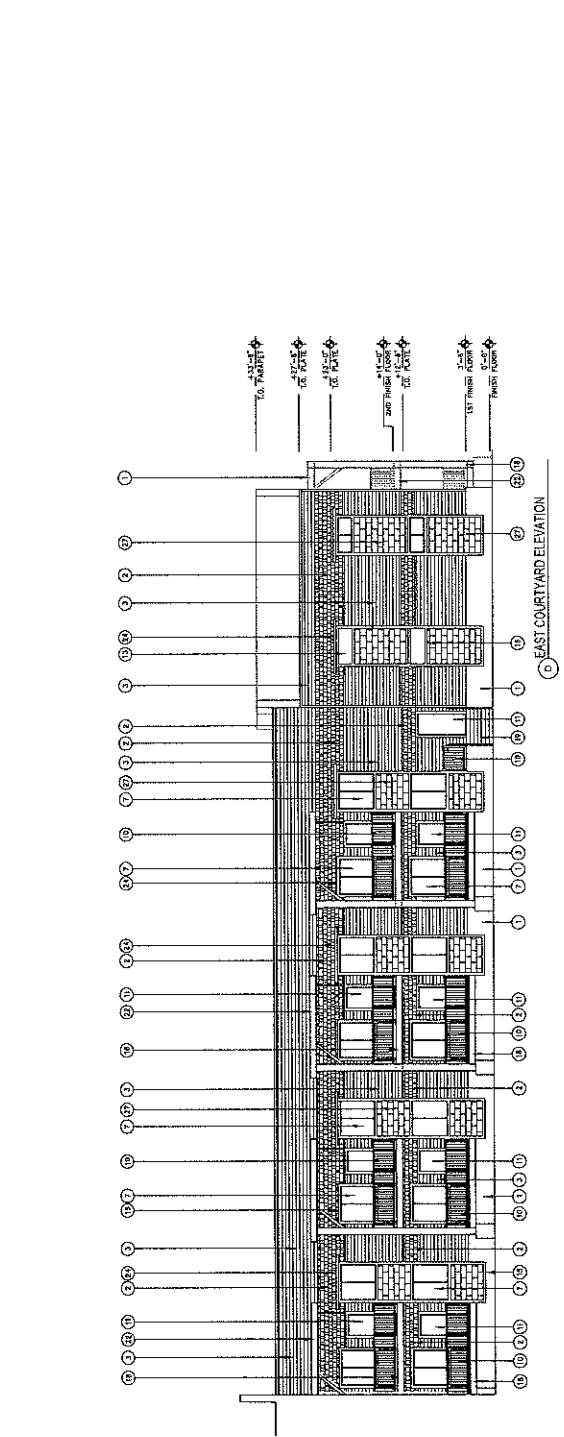
- ELEVATION KEY NOTES: (1)
1. EXTERIOR FINISH SYSTEM
 2. SHAVE SIDING
 3. 1/2" GYP BOARD
 4. 1/2" GYP BOARD
 5. 1/2" GYP BOARD
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 25. 1/2" GYP BOARD
 26. 1/2" GYP BOARD
 27. 1/2" GYP BOARD



billform architecture
group, LLC
11600 Midway Road, Suite 111
Dallas, Texas 75243
Phone: 972.333.8800 Fax: 972.333.8801

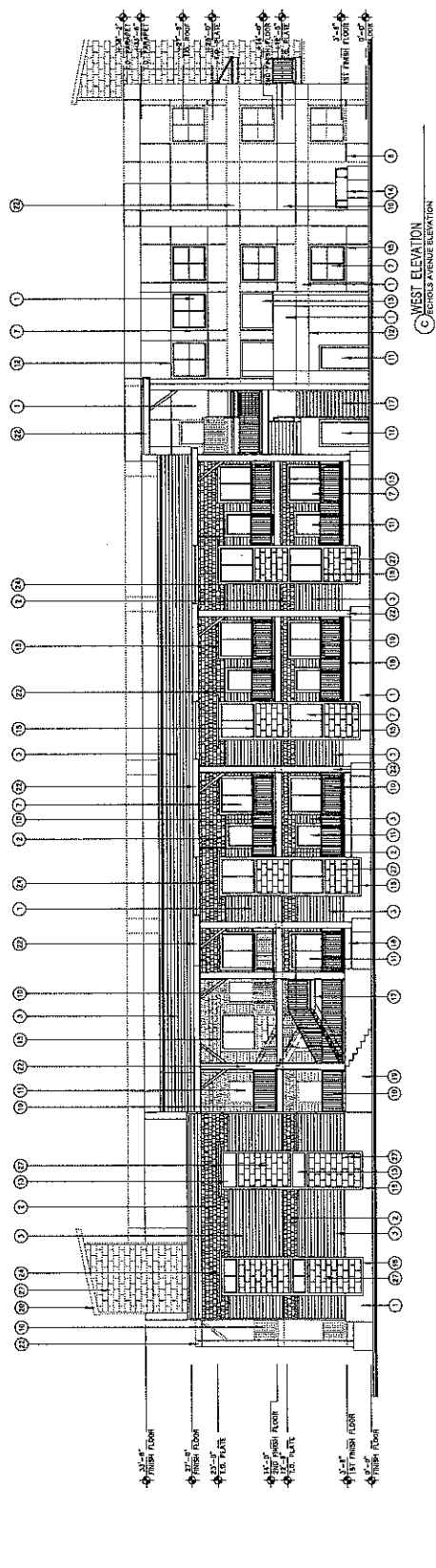
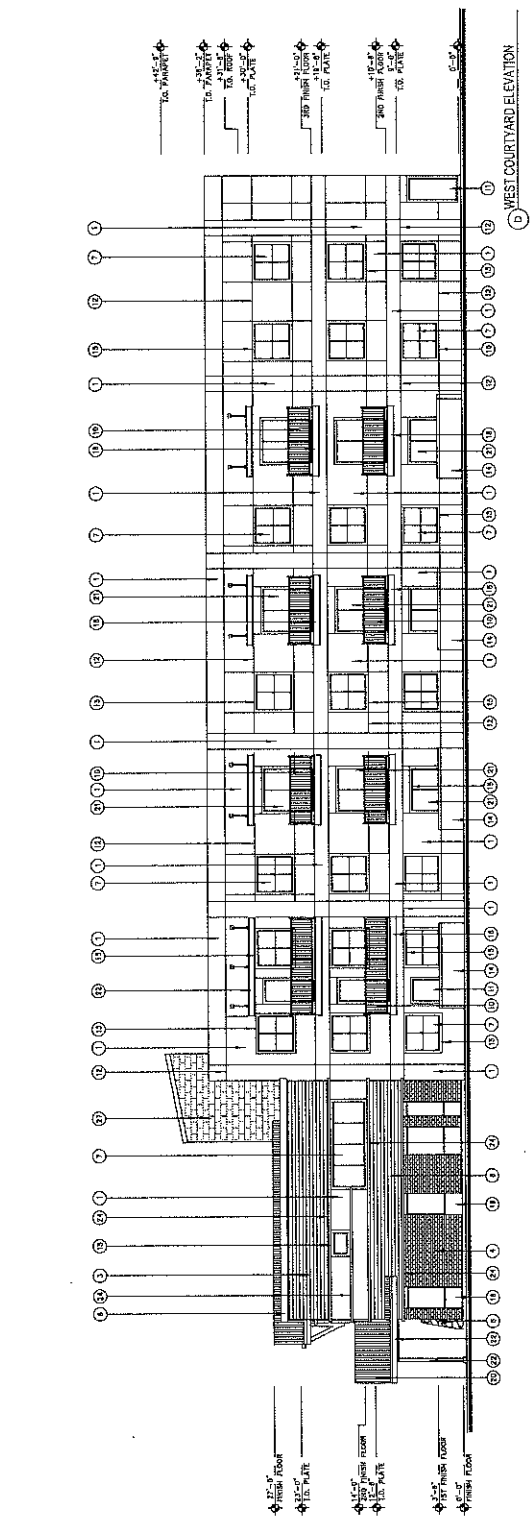
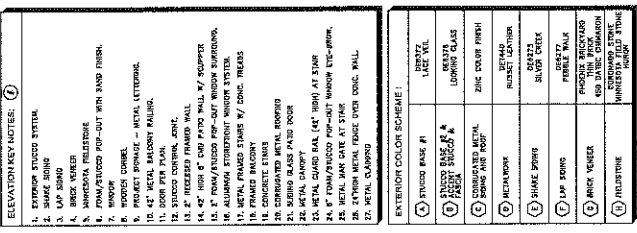


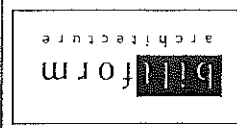
GARDNER CAPITAL DEVELOPMENT, LLC
Apartment Homes
50 EAST FRANKLIN STREET TULSA, OKLAHOMA
8000 Maryland Avenue, Suite 910, Clayton, MO, 63105
PHONE: 314-591-5900 FAX: 314-591-5901



A5.5.2
BUILDING 1 EAST ELEVATIONS
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BUILDING 1 - WEST ELEVATIONS





billform architecture
group, LLC.
11000 Parkview Ave. Suite 11
P.O. Box 11000
Pawnee, NE 68221-1000
Phone: 402.221.5800
Fax: 402.221.5820

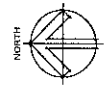


7th AVENUE COMMONS
Apartment Homes
50 EAST 7TH STREET TULSA, OKLAHOMA
GARDNER CAPITAL DEVELOPMENT, LLC.
8000 Maryland Avenue, Suite 910 Clayton, MO. 63105
PHONE: 314.581-8900 / FAX: 314.581-8905

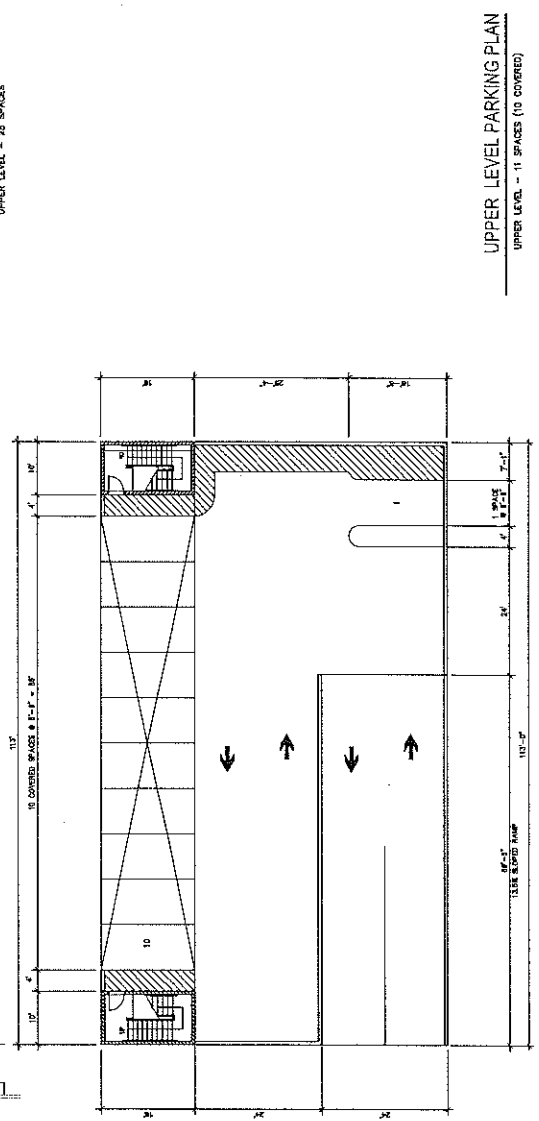
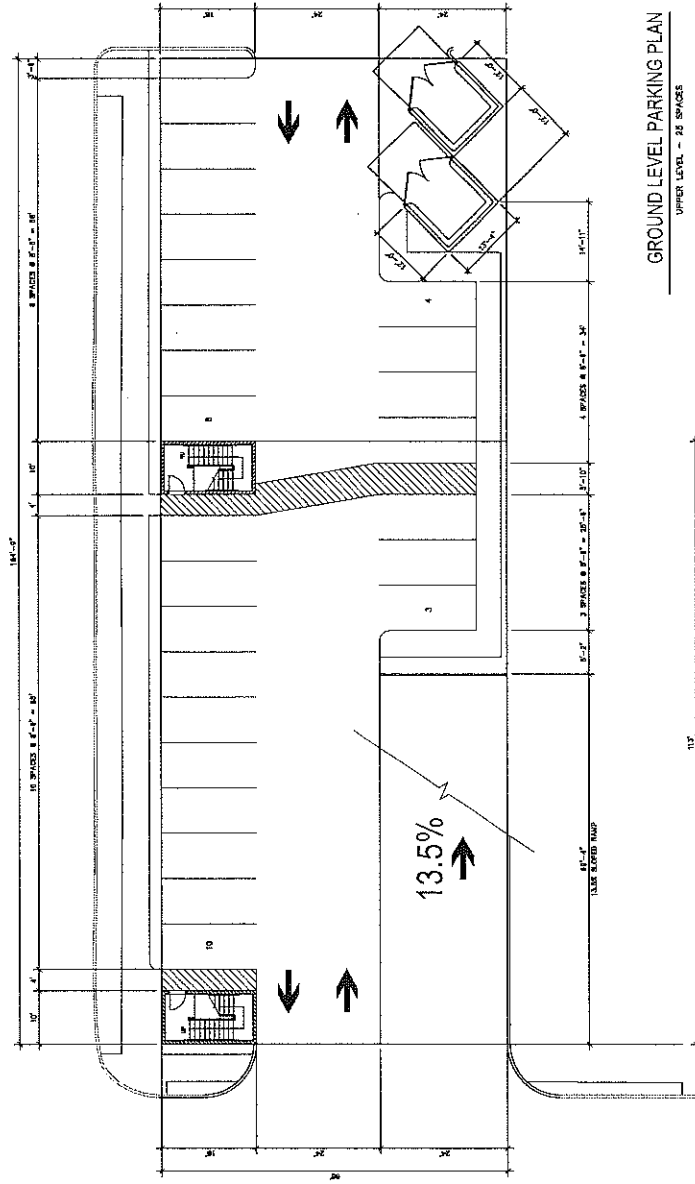
REVISION	
DATE	
BY	
CHKD	
SCALE	1/8" = 1'-0"
SHEET NO.	207 OF 207

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© BILLFORM ARCHITECTURE GROUP, LLC.



PARKING DECK
FLOOR PLANS



GENERAL NOTES:

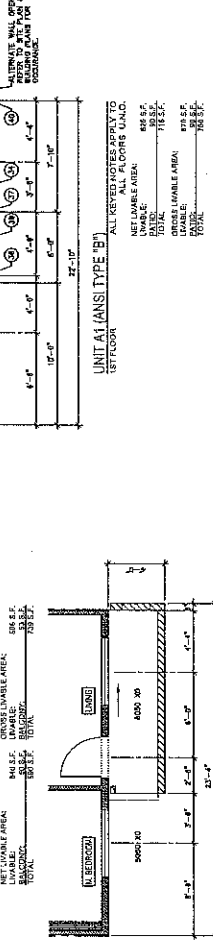
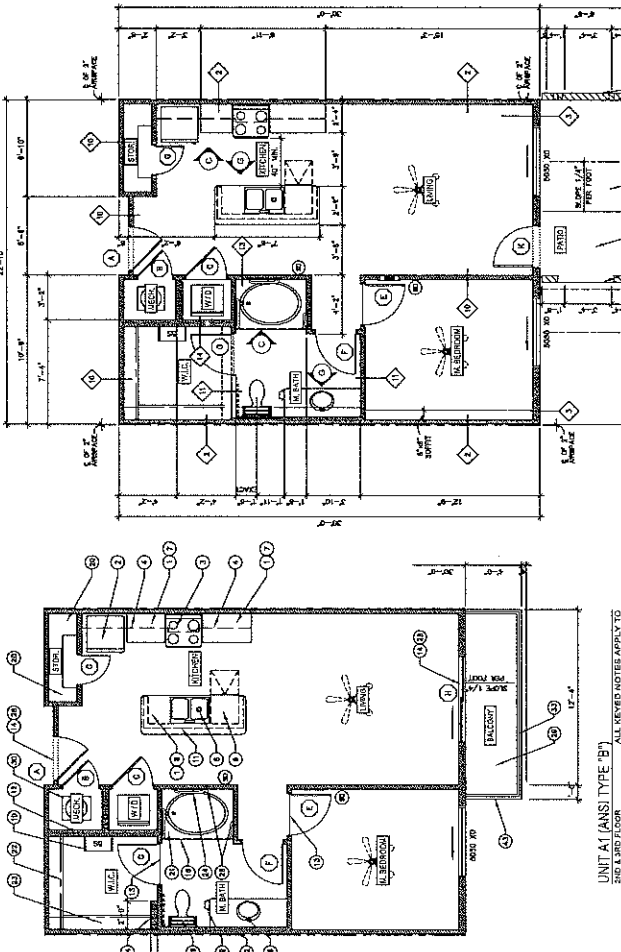
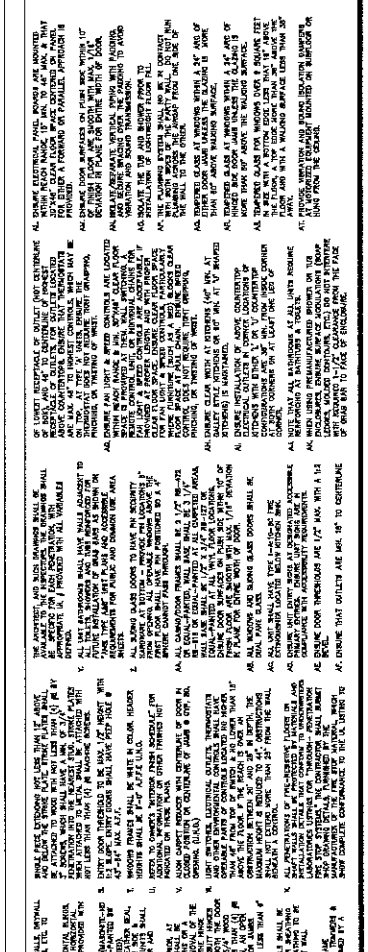
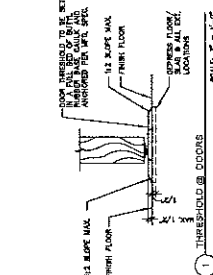
- ALL INTERIOR DOORS CROWN MOULDING & PART PART DOOR BY PART PART HINGES
- ALL DRILLING LIGHTS NO OPERABLE WINDOW 38" ABOVE FINISH FL
- CLADDING SUBJECT TO SECTION 2.0.1.1 TO SHALL BE SAFETY GLASS
- SMOKE DETECTORS AREAS SHALL BE A SPENDER.
- SUR. OFFICIAL BOARD LINE OF BOUNDING
- INSTALL CERAMIC TILE ALL SHOW/FUR AND
- ALL INTERIOR NON-SLIP ALL EXTERIOR W DRAINAGE.
- SQUARE DRY. NO. CO

GENERAL NOTES:

- ALL INTERIOR DOORS CROWN MOULDING & PART PART DOOR BY PART PART HINGES
- ALL DRILLING LIGHTS NO OPERABLE WINDOW 38" ABOVE FINISH FL
- CLADDING SUBJECT TO SECTION 2.0.1.1 TO 2.0.1.4 SHALL BE SAFETY GLASS
- SMOKE DETECTORS AREAS SHALL BE A SPENDER.
- ALL OFFICIAL BOARDING LINE OF MANHOOD
- INSTALL CERAMIC TILE ALL SHOWERS/TUBS
- ALL INTERIOR NON-SLIP DISHWASHER
- SQUARE DRY, NO, CO

[illegible]

S.G.D. El-Pass

[illegible]

32. BROTHER DORRIS (TWOFOED) - SEE DETAIL 10/1
33. THE THUNDERBOLTS (TWOFOED) - SEE DETAIL 10/1
34. "TWOFOED" - SEE DETAIL 10/1
35. "TWOFOED" - SEE DETAIL 10/1
36. "TWOFOED" - SEE DETAIL 10/1
37. "TWOFOED" - SEE DETAIL 10/1
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100. "TWOFOED" - SEE DETAIL 10/1

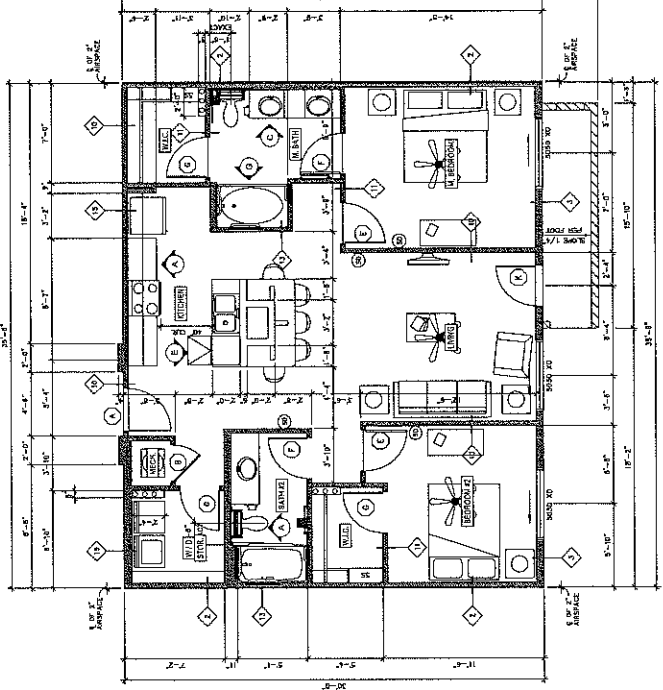
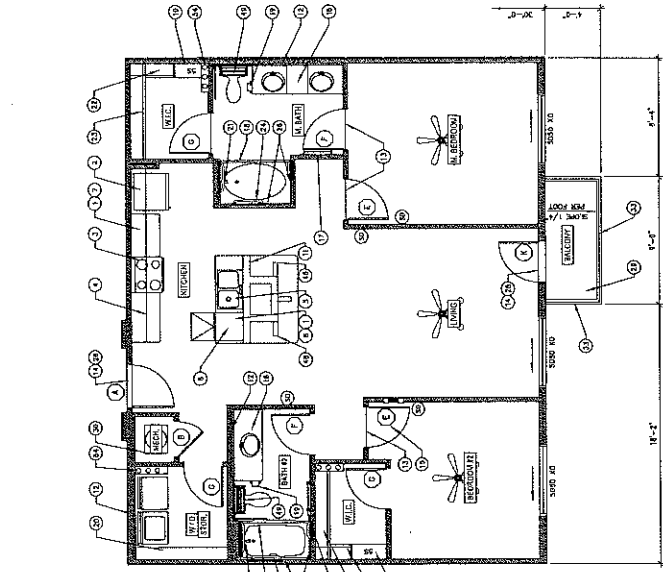
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UNIT A1 TOTAL UNIT COUNT = 2

[illegible]

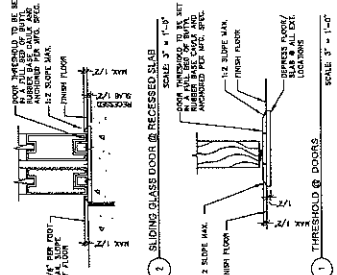
- [illegible]

- [illegible]



ALL KEYED NOTES APPLY TO ALL FLOORS U.N.O.	
NET LIVABLE AREA:	1912 S.F.
LIVABLE:	31 S.F.
BALCONY:	1043 S.F.
TOTAL	
GROSS LIVABLE AREA:	1971 S.F.
LIVABLE:	34 S.F.
BALCONY:	1107 S.F.
TOTAL	

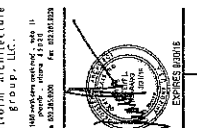
ST FLOOR		ALL REVED NOTES APPLY TO ALL FLOORS U.N.O.	
NET LIVABLE AREA:		1012 S.F.	
LIVABLE:		31 S.F.	
BAL. CONDY:		1048 S.F.	
TOTAL		1359 S.F.	
GROSS LIVABLE AREA:		1074 S.F.	
LIVABLE:		36 S.F.	
BAL. CONDY:		1038 S.F.	
TOTAL		1074 S.F.	



- [illegible]

- [illegible]

- [illegible]

bit form architecture

Apartment Homes
94 EAST FIFTH STREET TUSCON, ARIZONA
GARDNER CAPITAL DEVELOPMENT, LLC
8000 Maryland Avenue, Suite 910, Clayton, MO. 63105
PHONE: 314-561-8000 FAX: 314-561-9989

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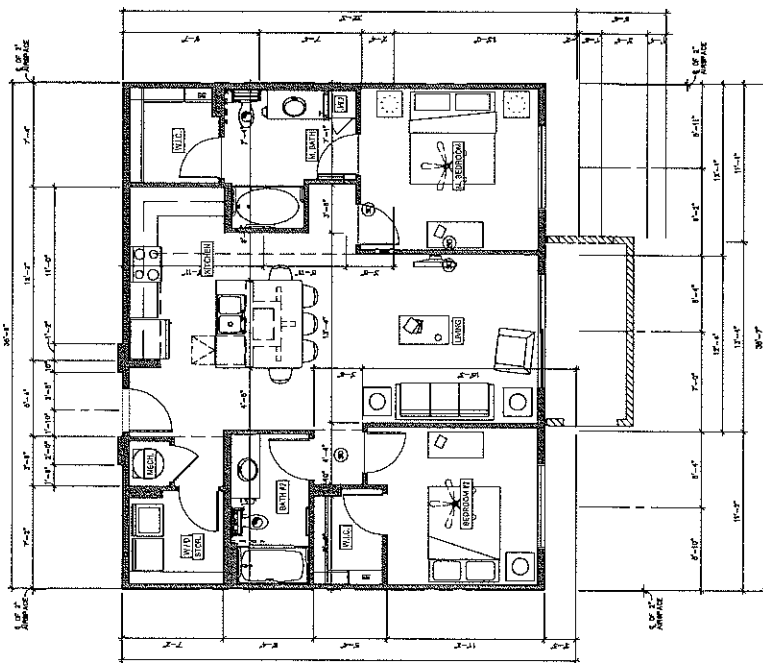
UNIT B
1ST, 2ND & 3RD FLOOR PLANS
UNIT B1 TOTAL UNIT COUNT = 2

ALZ.7.0

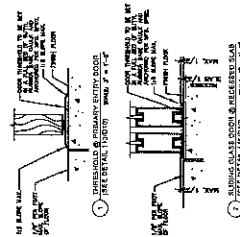
UNIT B
1ST, 2ND & 3RD FLOOR PLANS
UNIT B1 TOTAL UNIT COUNT = 2

UNIT ROOM FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALL	CEILING
ALL ROOMS	1	4	4	2
ALL BATHS	1	4	4	2
ALL KITCHENS	1	4	4	2
ALL HALLS	1	4	4	2
ALL STAIRS	1	4	4	2
ALL PORCHES	1	4	4	2
ALL PATIOS	1	4	4	2
ALL GARAGES	1	4	4	2
ALL ATTIC	1	4	4	2
ALL LOFTS	1	4	4	2
ALL MECH. ROOMS	1	4	4	2
ALL STORAGE	1	4	4	2
ALL ENTRY	1	4	4	2
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ALL GARAGES	1	4	4	2
ALL ATTIC	1	4	4	2
ALL LOFTS	1	4	4	2
ALL MECH. ROOMS	1	4	4	2
ALL STORAGE	1	4	4	2
ALL ENTRY	1	4	4	2
ALL PORCHES	1	4	4	2
ALL PATIOS	1	4	4	2
ALL GARAGES	1	4	4	2
ALL ATTIC	1	4	4	2
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ALL STORAGE	1	4	4	2
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ALL GARAGES	1	4	4	2
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ALL LOFTS	1	4	4	2
ALL MECH. ROOMS	1	4	4	2
ALL STORAGE	1	4	4	2
ALL ENTRY	1	4	4	2
ALL PORCHES	1	4	4	2
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ALL GARAGES	1	4	4	2
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ALL LOFTS	1	4	4	2
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ALL STORAGE	1	4	4	2
ALL ENTRY	1	4	4	2
ALL PORCHES	1	4	4	2
ALL PATIOS	1	4	4	2
ALL GARAGES	1	4	4	2
ALL ATTIC	1	4	4	2
ALL LOFTS	1	4	4	2
ALL MECH. ROOMS	1	4	4	2
ALL STORAGE	1	4	4	2
ALL ENTRY	1	4	4	2
ALL PORCH				

- [illegible]



UNIT B2 (ANSI TYPE "B")		ALL KEYED NOTES APPLY TO ALL FLOORS UNO.	
FIRST FLOOR			
KEY INABLE AREA:	1,083 S.F.	GROSS INABLE AREA:	1,128 S.F.
AVAIL:	81 S.F.	PATIO:	82 S.F.
TOTAL:	1,164 S.F.	TOTAL:	1,210 S.F.



- KEYED TERMS: ①
- | | |
|-----------------------------------|--|
| 1. BASE CABINET | 15. CHART REDUCER |
| 2. REPRODUCTION WITH 50% CONTRAST | 16. HANDEDNESS TESTED IN 1970 |
| 3. MODIFICATION WITH EXPANSION | 17. 20% TONGUE, 80% PLATE |
| 4. UPPER CABINET | 18. TOLSTOY PAPER DEDICATED TO ARTISTS |
| 5. STAINLESS STEEL SINK | 19. 10% OF BENEFIT ON VOLUNTARY BASIS |
| 6. CONSTRUCTION | 20. PLASTIC LAMINATE VARIOUS TYPES |
| 7. GRANITE COUNTERTOPS | 21. 10% OF BENEFIT ON VOLUNTARY BASIS |
| 8. GRANITE ISLAND-TOP | 22. 10% OF BENEFIT ON VOLUNTARY BASIS |
| 9. 15' 00" MOP SWIVELS | 23. 10% OF BENEFIT ON VOLUNTARY BASIS |
| 10. 10' 00" MOP SWIVELS | 24. 10% OF BENEFIT ON VOLUNTARY BASIS |
| 11. 10' 00" MOP SWIVELS | 25. 10% OF BENEFIT ON VOLUNTARY BASIS |
| 12. 10' 00" MOP SWIVELS | 26. 10% OF BENEFIT ON VOLUNTARY BASIS |
| 13. 10' 00" MOP SWIVELS | 27. 10% OF BENEFIT ON VOLUNTARY BASIS |
| 14. 10' 00" MOP SWIVELS | 28. 10% OF BENEFIT ON VOLUNTARY BASIS |

18. SHOWN DOORS (CONTINUED)
19. USE OF WALL OPENINGS
20. SLAB JOINTS TO BE FLUSH TO FINISH AND TYPE "A" JOINTS TO BE SMOOTH
21. FLOOR FINISH TO BE 1/2" THICK POLISHED PORTLAND CEMENT CONCRETE
22. FLOOR FINISH TO BE 1/2" THICK POLISHED PORTLAND CEMENT CONCRETE
23. WATER WASTED FROM WALLS - SEE MEN'S & WOMEN'S
24. FINISHED BALCONY WALLS - SEE DETAIL 44/24
25. FINISHED SKIRT 8" & 5"
26. MAIN BALCONY RAILING SEE DETAIL 44/1 & 44/24
27. 4" RAILING POSTS TO BE 1/2" DIA. FINISHED TO MATCH
28. 4" RAILING POSTS TO BE 1/2" DIA. FINISHED TO MATCH
29. WALL FINISH TO BE 1/2" THICK POLISHED PORTLAND CEMENT CONCRETE TO MATCH DETAIL 44/24
30. WALL FINISH TO BE 1/2" THICK POLISHED PORTLAND CEMENT CONCRETE TO MATCH DETAIL 44/24
31. CONTROL Joints
32. CONTROL Joints
33. LINE OF BALCONY FINISH WITH FINISH
34. SEE DETAIL 44/2
35. SEE DETAIL 44/1 FOR WALL WITH MOOD UP - SEE DETAIL 44/24
36. FINISHED WALL - SEE DETAIL 44/24 & EXTERIOR DETAIL 44/24
37. FINISHED WALL - SEE DETAIL 44/24 & EXTERIOR DETAIL 44/24
38. FINISHED WALL - SEE DETAIL 44/24 & EXTERIOR DETAIL 44/24
39. FINISHED WALL - SEE DETAIL 44/24 & EXTERIOR DETAIL 44/24
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98. FINISHED WALL - SEE DETAIL 44/24 & EXTERIOR DETAIL 44/24
99. FINISHED WALL - SEE DETAIL 44/24 & EXTERIOR DETAIL 44/24
100. FINISHED WALL - SEE DETAIL 44/24 & EXTERIOR DETAIL 44/24



7th Avenue Commons
Apartment Homes
55 East Fifth Street, Tucson, Arizona
8000 Maryland Avenue, Suite 510, Clayton, MO. 63105
Phone: 314-883-9900 Fax: 314-883-9956
GARDNER CAPITAL DEVELOPMENT, LLC.

EXPOSURE:	15-407	15-407
DATE:	APRIL 3, 2010	APRIL 3, 2010
SET NO:		100 * 10"

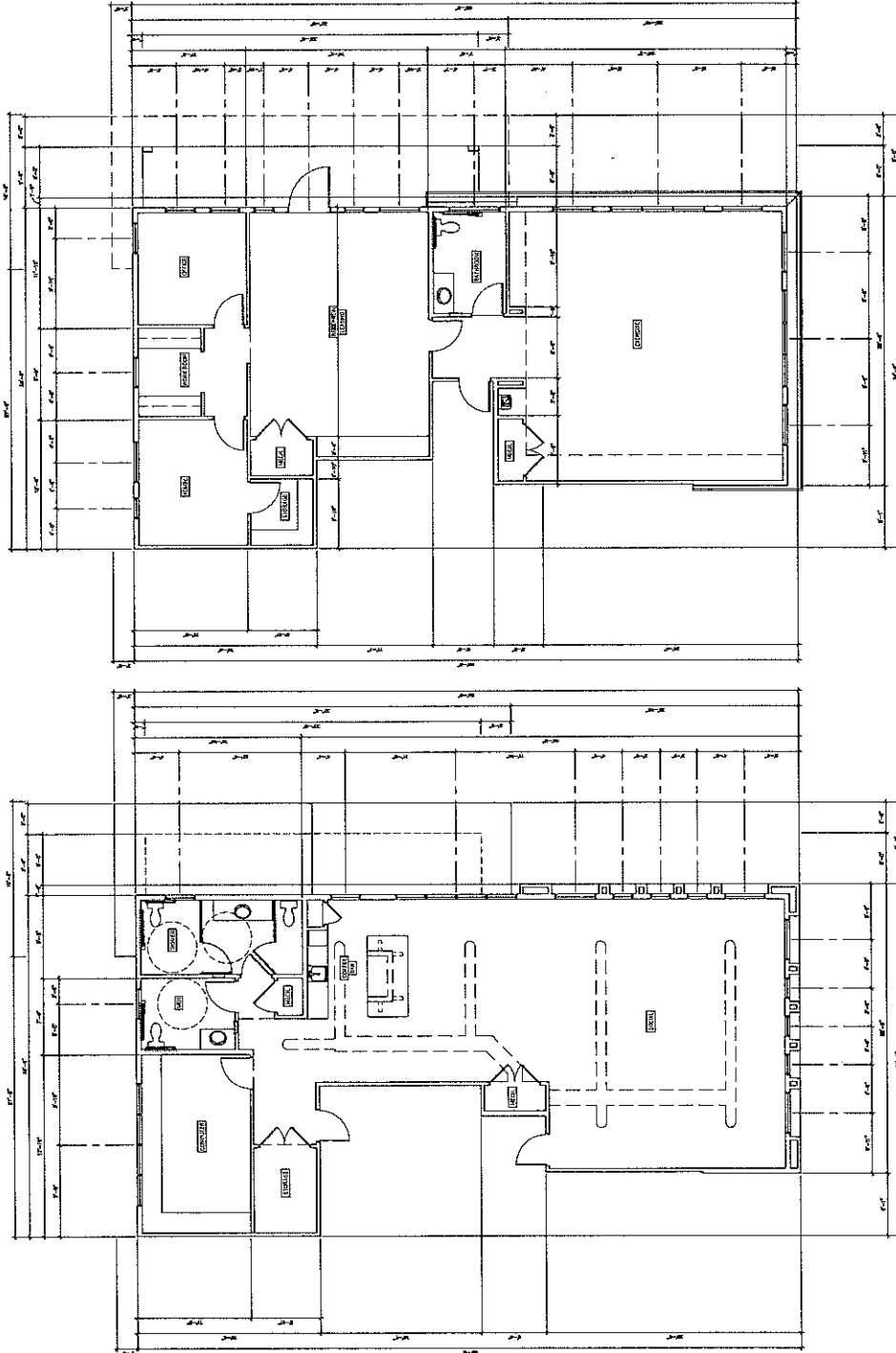
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UNIT ROOM FINISH SCHEDULE			
ROOM	FLOOR	WALL	CEILING
1. KITCHEN	1	1	1
2. BATH	1	1	1
3. HALL	1	1	1
4. LIVING	1	1	1
5. BED	1	1	1
6. CLO.	1	1	1
7. BALCONY	1	1	1
8. PORCH	1	1	1
9. ENTRY	1	1	1
10. STAIR	1	1	1
11. TERRACE	1	1	1
12. GARAGE	1	1	1
13. MECHANICAL	1	1	1
14. STORAGE	1	1	1
15. ENTRY	1	1	1
16. STAIR	1	1	1
17. TERRACE	1	1	1
18. GARAGE	1	1	1
19. MECHANICAL	1	1	1
20. STORAGE	1	1	1
21. ENTRY	1	1	1
22. STAIR	1	1	1
23. TERRACE	1	1	1
24. GARAGE	1	1	1
25. MECHANICAL	1	1	1
26. STORAGE	1	1	1
27. ENTRY	1	1	1
28. STAIR	1	1	1
29. TERRACE	1	1	1
30. GARAGE	1	1	1
31. MECHANICAL	1	1	1
32. STORAGE	1	1	1
33. ENTRY	1	1	1
34. STAIR	1	1	1
35. TERRACE	1	1	1
36. GARAGE	1	1	1
37. MECHANICAL	1	1	1
38. STORAGE	1	1	1
39. ENTRY	1	1	1
40. STAIR	1	1	1
41. TERRACE	1	1	1
42. GARAGE	1	1	1
43. MECHANICAL	1	1	1
44. STORAGE	1	1	1
45. ENTRY	1	1	1
46. STAIR	1	1	1
47. TERRACE	1	1	1
48. GARAGE	1	1	1
49. MECHANICAL	1	1	1
50. STORAGE	1	1	1
51. ENTRY	1	1	1
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53. TERRACE	1	1	1
54. GARAGE	1	1	1
55. MECHANICAL	1	1	1
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57. ENTRY	1	1	1
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59. TERRACE	1	1	1
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61. MECHANICAL	1	1	1
62. STORAGE	1	1	1
63. ENTRY	1	1	1
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65. TERRACE	1	1	1
66. GARAGE	1	1	1
67. MECHANICAL	1	1	1
68. STORAGE	1	1	1
69. ENTRY	1	1	1
70. STAIR	1	1	1
71. TERRACE	1	1	1
72. GARAGE	1	1	1
73. MECHANICAL	1	1	1
74. STORAGE	1	1	1
75. ENTRY	1	1	1
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79. MECHANICAL	1	1	1
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81. ENTRY	1	1	1
82. STAIR	1	1	1
83. TERRACE	1	1	1
84. GARAGE	1	1	1
85. MECHANICAL	1	1	1
86. STORAGE	1	1	1
87. ENTRY	1	1	1
88. STAIR	1	1	1
89. TERRACE	1	1	1
90. GARAGE	1	1	1
91. MECHANICAL	1	1	1
92. STORAGE	1	1	1
93. ENTRY	1	1	1
94. STAIR	1	1	1
95. TERRACE	1	1	1
96. GARAGE	1	1	1
97. MECHANICAL	1	1	1
98. STORAGE	1	1	1
99. ENTRY	1	1	1
100. STAIR	1	1	1
101. TERRACE	1	1	1
102. GARAGE	1	1	1
103. MECHANICAL	1	1	1
104. STORAGE	1	1	1
105. ENTRY	1	1	1
106. STAIR	1	1	1
107. TERRACE	1	1	1
108. GARAGE	1	1	1
109. MECHANICAL	1	1	1
110. STORAGE	1	1	1
111. ENTRY	1	1	1
112. STAIR	1	1	1
113. TERRACE	1	1	1
114. GARAGE	1	1	1
115. MECHANICAL	1	1	1
116. STORAGE	1	1	1
117. ENTRY	1	1	1
118. STAIR	1	1	1
119. TERRACE	1	1	1
120. GARAGE	1	1	1
121. MECHANICAL	1	1	1
122. STORAGE	1	1	1
123. ENTRY	1	1	1
124. STAIR	1	1	1
125. TERRACE	1	1	1
126. GARAGE	1	1	1
127. MECHANICAL	1	1	1
128. STORAGE	1	1	1
129. ENTRY	1	1	1
130. STAIR	1	1	1
131. TERRACE	1	1	1
132. GARAGE	1	1	1
133. MECHANICAL	1	1	1
134. STORAGE	1	1	1
135. ENTRY	1	1	1
136. STAIR	1	1	1
137. TERRACE	1	1	1
138. GARAGE	1	1	1
139. MECHANICAL	1	1	1
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141. ENTRY	1	1	1
142. STAIR	1	1	1
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144. GARAGE	1	1	1
145. MECHANICAL	1	1	1
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147. ENTRY	1	1	1
148. STAIR	1	1	1
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150. GARAGE	1	1	1
151. MECHANICAL	1	1	1
152. STORAGE	1	1	1
153. ENTRY	1	1	1
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156. GARAGE	1	1	1
157. MECHANICAL	1	1	1
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159. ENTRY	1	1	1
160. STAIR	1	1	1
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162. GARAGE	1	1	1
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165. ENTRY	1	1	1
166. STAIR	1	1	1
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168. GARAGE	1	1	1
169. MECHANICAL	1	1	1
170. STORAGE	1	1	1
171. ENTRY	1	1	1
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215. TERRACE	1	1	1
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296. STORAGE	1	1	1
297. ENTRY	1	1	1
298. STAIR	1	1	1
299. TERRACE	1	1	1
300. GARAGE	1	1	1

GENERAL NOTES:

1. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
 - A. INTERIORS: 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300,

CLUBHOUSE-SECOND FLOOR PLAN
1,729 S.F. (GROSS)



1.729 S.F. (GROSS)



**CLUBHOUSE
FLOOR PLANS**

OUR PLANS 3,542 TOTAL S.F.

A2.7.0

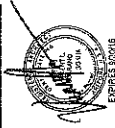
REVISIONS:	
	-
	-
	-
	-
	-
JOB NO.	13-027
DATE:	MAY 1, 2018
SCALE:	1/8" = 1'-0"
SHEET NO:	

7th AVENUE COMMONS
Apartment Homes
56 EAST FIFTH STREET TUCSON, ARIZONA
GARDNER CAPITAL DEVELOPMENT, LLC.
8000 Maryland Avenue, Suite 910, Clayton, MO. 63105
PHONE: 314-341-9100 FAX: 314-343-9956

7th AVENUE COMMONS

Apartment Homes

PHONE: 314-581-8100 FAX: 314-563-8995



billform architecture
group, inc.





class north cave street road - side 17
phosphate, Adams 15070

b:ltform

KEYED NOTES: 1

- [illegible]

SYMBOL SCHEDULE

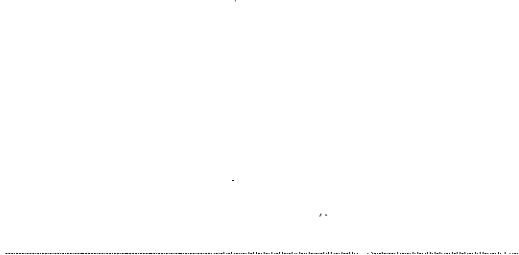
-  — SEE SHEET PVI, A PVI2 FOR BOUND AND FIRE RATED DETAILS
 INDICATES DOOR HINGED, REFER TO SHEET A12.1
 INDICATES STUPE FRONT WINDOW TYPE, REFER TO SHEET A12.3
 INDICATES R-10" AFV, FLAME ROLM DELAYS AT ALL DOORS, REFER TO DETAIL A12.4

BUILDING COMPONENT SCHEDULE:

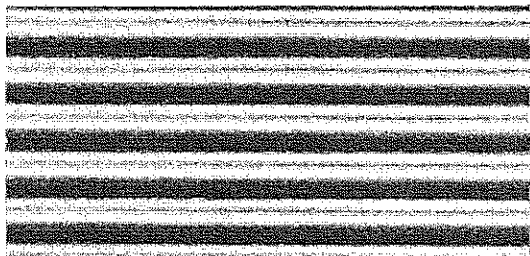
BUILDING ELEMENT	CONSTRUCTION TYPE - A	WALL PERMEANCE
CEILING	1 HOUR RATED	1/10 in/hr
EXTERIOR WALL	1 HOUR RATED	1/10 in/hr
INTERIOR WALL	NON-RATED	1/10 in/hr
ROOF	1 HOUR RATED	2 in/hr
MECHANICAL ROOM	1 HOUR RATED	2 in/hr
STAIR ENCLOSURE	1 HOUR RATED	2 in/hr
ELEVATOR SHAFT	2 HOUR RATED	12 in/hr
ELEVATOR CLOSET	2 HOUR RATED	12 in/hr
ELEVATOR MACHINE ROOM	1 HOUR RATED	2 in/hr
ELECTRICAL ROOM	1 HOUR RATED	2 in/hr

CLUBHOUSE PLAN NOTES


1. FOR TYPICAL UNIT PLANS SEE SHEETS A11.0 THROUGH A15.0.
2. ALL DIMENSIONS ARE TO FACE OF STUD ON FACE OF BASECUT UNLESS NOTED OTHERWISE.
3. REFER TO SHEET A11.0 AND INTERIOR DESIGN DRAWINGS FOR ROOM FINISH SCHEDULE.
4. SEE INTERIOR DESIGN DRAWINGS FOR INFORMATION.



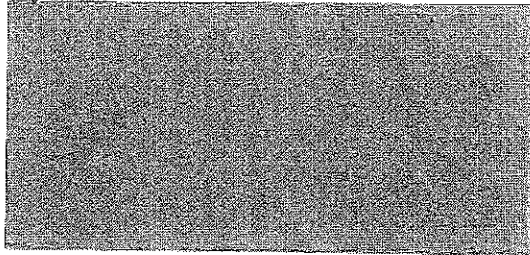
Stucco Base
Dunn Edwards
DE6372 "Lace Veil"



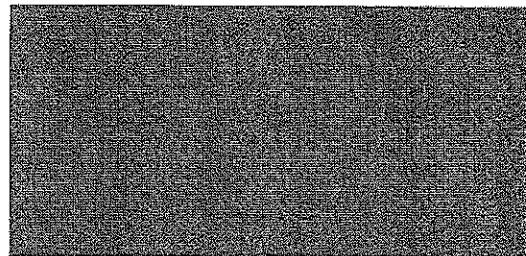
Corrugate Metal Siding and
Roof – Zinc Color



Shake Siding
Dunn Edwards DE6275 "Silver Creek"



Accent Stucco and Fascia
Dunn Edwards
DE6376 "Looking Glass"



Metalwork
Dunn Edwards
DET440 Russet Leather

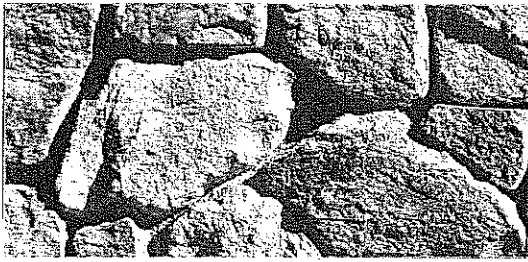


Lap Siding
Dunn Edwards DE6277 "Pebble Walk"

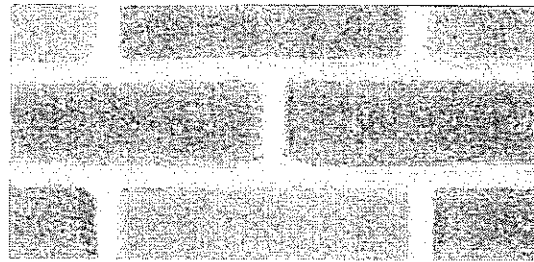


biltform
architecture

Building Materials and
Color Exhibit
7th Avenue Commons



Brick
Phoenix Thin Brick
450 DATBC "Cimmaron"



Stone
Coronado Stone
Minnesota Fieldstone "Huron"



Building Materials and
Color Exhibit
7th Avenue Commons